

**Agenda**  
**Architectural Review Board**  
**Wednesday, March 11, 2026**  
**Multi-purpose Room, Petersburg Public Library**  
**201 W. Washington St.**  
**5:30 p.m.**

1. **Call to Order**
2. **Pledge of Allegiance**



3. **Approval of Agenda**
4. **Review of Minutes**
  - a. February 11, 2026 Regular Meeting Minutes (pages 3-7)
5. **Public Information Period**
6. **Requests for Certificate of Appropriateness:**
  - a. **120 Pine Street; Folley Castle Historic District; Owner: Integrity Investments, LLC, Applicant: Joel Mises (pages 8-15)**  
  
Construction of new two-story single-family residence.

- b. **130 Tulip Alley; Poplar Lawn Historic District; Owner: MARTEFLIP, LLC, Applicant: Joel Miseses (pages 16-24)**

Construction of new two-story single-family residence.

- c. **2 East Washington Street; Courthouse Historic District; Owner: E Washington 11 LLC Applicant: Kenethia Hines (pages 25-32)**

Installation of 49.6 square-foot, wall-mounted sign on storefront.

- d. **116 Liberty Street; Poplar Lawn Historic District; Owner/ Applicant: Diane Curling (pages 33-64)**

Repainting with colors not included on approved color chart.

- e. **305-307 North West Street; Battersea/West High Street Historic District; Owner: Petersburg Revival LLC Applicant: William Fitzhugh (pages 65-71)**

Full repair/restoration of existing structure.

- f. **227 Mercer Street; Poplar Law Historic District; Owner: Petersburg Revival LLC Applicant: William Fitzhugh (pages 72-78)**

Full repair/restoration of existing structure.

- g. **15 Pine Street; Folley Castle Historic District; Owner/Applicant: Martine Richardson (pages 79-91)**

Full repair/restoration of existing structure.

7. **Old Business:**

8. **New Business:**

a. **Administrative Approvals**

- 411 Hurt Street – in-kind repair/like-for-like replacement of rotten siding, Repainting with approved white

9. **Work Session:**

10. **Adjournment:**

**Minutes**  
**Architectural Review Board**  
**Wednesday, February 11, 2026**  
**Petersburg Public Library**  
**201 W. Washington St.**  
**5:30 p.m.**

**In attendance:** Louis Malon (Chair), Joe Yates (Vice-Chair), Bill Hartsock, Larry Murphy, Michelle Murrills, Celeste Wynn

Jared Crews, City Planning Staff

**Absent:** Joe Battiston

**Meeting was called to order at 5:30pm.**

**Approval of Agenda:**

Ms. Murrills motioned to adopt the agenda as presented. Vice-Chair Yates seconded the motion, which passed unanimously.

**Review of Minutes:**

The Board reviewed the draft minutes for the January 14, 2026 regular meeting.

Mr. Hartsock motioned to approve the minutes as drafted. Mr. Murphy seconded the motion, which passed unanimously.

**Public Information Period:**

Chairperson Malon opened the floor for public comments.

Marcus Squires, 1701 Monticello Street, stated he had concerns about some of the new construction within the local historic districts being out of character with existing development, particularly in terms massing of the dwellings and window placement. Mr. Squires stated the City of Richmond's Commission of Architectural Review was very strict when it comes to these features and suggested the Board consider following its example. Mr. Squires noted the Board has approved asphalt shingle roofs and roofs with inappropriate pitches. Mr. Squires stated there was new construction with windows installed on the envelopes of the dwellings rather than being inset which visually stand out from existing historic homes. Mr. Squires stated the city would have additional revenue coming in the near future and that he would like to see more consideration for what is allowed to be built.

The Board asked Mr. Squires if he could provide examples of the issues he had noted. Mr. Squires stated there is new construction at the corner of Grove Avenue and Jones Street which has windows on the envelope of the home and a hipped roof that does not match the surrounding

development. Mr. Squires stated there was also a new home on West High Street with similar issues. Mr. Squires stated he would provide examples to staff to be shared with the Board.

Hearing no further comments, the public information period was closed.

**Requests for Certificate of Appropriateness:**

**a. 120 Pine Street; Folley Castle Historic District; Owner: Integrity Investments, LLC, Applicant: Joel Mieses**

Mr. Crews presented an overview of the request, stating the applicant was looking to construct a two-story, 1,860-square-foot dwelling on the vacant lot. Mr. Crews stated there are few homes on the block currently, but the proposed dwelling was generally comparable in terms of height and scale and the materials would be appropriate for new construction. Mr. Crews stated the proposed setback of the home would not be within the recommended range from the design guidelines, but noted there were only two homes on the same side of the street on the block and neither was directly adjoining the subject property.

The applicant, Joel Mieses, was present and stated he had made sure to provide the driveway to the side of the proposed dwelling since the lot was wide enough to accommodate it.

Vice-Chair Yates stated he had concerns over the proposed design of the home, noting it did not appear appropriate for Petersburg, particularly the gabled roof over the porch and the alignment of the windows on the facade. Vice-Chair Yates stated it would be more appropriate to use a shed-style roof for the porch which would also allow the windows to be aligned symmetrically. Vice Chair Yates provided a sketch to the applicant outlining the possible changes to the design.

Mr. Mieses stated the property owner had requested the gable roof over the porch, but he agreed the shed roof would be more appropriate for the area. Mr. Mieses stated he could speak with the client and revise the plans accordingly.

Ms. Wynn motioned to deny the application as presented with a recommendation that the plans be revised to show a shed-style roof over the porch and the windows on the front façade to be aligned symmetrically. Ms. Murrills seconded the motion, which passed unanimously.

**b. 130 Tulip Alley; Poplar Lawn Historic District; Owner: MARTEFLIP, LLC, Applicant: Joel Mieses**

Mr. Crews presented an overview of the request, stating the applicant was looking to construct a two-story, 2,000-square-foot dwelling on the vacant lot. Mr. Crews stated there are only two homes on the same block currently, but noted staff felt the proposed height and size of the proposed dwelling would be noticeably different than the existing structures.

Mr. Crews stated he was also concerned about the proposed 22-foot setback of the home, which would disrupt the existing building line. Mr. Crews noted it appeared the existing two homes were accessed from a rear alley or easement and stated he recommended the applicant explore whether rear access was possible to the subject property so the driveway could be provided in the rear yard and the house could be moved forward.

Mr. Mieses, was present and stated he was unsure whether rear access to the property was possible. The Board discussed the possible rear access, noting survey or plat information would likely be required.

The Board determined the height of the structure was not a concern since one of the existing homes on the street is two-story but noted the 22-foot setback was not desirable if it could be avoided.

Chairperson Malon asked whether there were any members of the public who wished to speak on the request. Mr. Squires stated the home would be visible from Poplar Lawn Park based on the proposed height and noted attention should be paid to rear façade in addition to the front.

Vice-Chair Yates stated he felt the second, smaller gable on the roof was not appropriate for the district and the Board agreed. Vice-Chair yates suggested removing the second gable and providing an additional decorative window on the façade. Mr. Mieses stated he was open to making these changes and investigating whether the driveway could be provided to the rear of the home.

Mr. Hartsock motioned to deny the application as presented with the recommendation that the plans be revised to remove the secondary, smaller gable on the roof and provide an additional decorative window on the front façade. The recommendation also included determining whether rear access could be provided and, if so, siting the home closer to the front of the lot and locating the off-street parking behind it. Ms. Wynn seconded the motion, which passed unanimously.

c. **1013 Upper Appomattox Street; Battersea/West High Street Historic District; Owner: MARTEFLIP, LLC, Applicant: Joel Mieses**

Mr. Crews presented an overview of the request, stating the applicant was looking to construct a two-story, 2,000-square-foot dwelling on the vacant lot. Mr. Crews noted the surrounding development was similar in scale and massing and the proposed setback was appropriate. Mr. Crews noted the orientation of the roof would differ from the existing homes, but the lot is 33-feet-wide and a side-gable roof would not be feasible. Mr. Crews stated the driveway would be located partially in front of the home, but noted the Board had determined this may be permissible on lots less than 40 feet in width.

The designs for this home were similar to the previous request, and Vice-Chair Yates reiterated he felt the second, smaller gable on the roof was not appropriate for the district. Vice-Chair yates suggested removing the second gable and providing an additional

decorative window on the façade. Mr. Miseses stated he could make these changes to the plans and resubmit them for review.

Mr. Murphy motioned to approve the application on the condition that the plans be revised to remove the second roof gable and provide an additional decorative window on the front façade. Mr. Murphy stated the revised plans should be submitted to staff for review in conjunction with Vice-Chair Yates prior to issuance of a building permit for the project. Ms. Murrills seconded the motion, which passed unanimously.

d. **601 Grove Avenue; Old Towne Historic District; Owner/Applicant: Leigh Ann Bacevich**

Mr. Crews presented an overview of the request, stating the applicant was looking to demolish an approximately 90-square-foot portion of the existing secondary structure on the lot and subsequently remodel and add on to the structure to accommodate a farmer's market location. Mr. Crews stated the plans included the work on the existing building as well as a detached structure for storage, an outdoor gathering area, and fences and landscaping throughout the site. Mr. Crews stated the subject structure was built in 1979 and was not considered contributing to the Old Towne Historic District and noted the applicant had provided a scope of work document detailing the materials proposed for use in the project.

The applicant, Leigh Ann Bacevich, was present and provided the Board with an overview of her plans for the property, including a retail space and commercial kitchen inside the subject building and an outdoor event space. Ms. Bacevich stated the property would serve as a market to sell products from her own farm and she would be partnering with other farmers and artisans for use of the space. Ms. Bacevich noted future plans included use of the older, brick building on the site for short-term rental in a future phase. The architect for the project, Michael Shearn, was also present and provided a three-dimensional model of the proposed project for the Board's review.

The Board asked whether the applicant was coordinating with Planning staff on the use of the property and parking requirements. Mr. Crews stated staff had met with the applicant several times and would continue to coordinate throughout the process. The Board clarified an additional Certificate of Appropriateness may be required if parking is needed on the site.

Mr. Murphy motioned to approve the application as presented. Ms. Murrills seconded the motion, which passed unanimously.

**Old Business:**

There was no old business for discussion/action.

**New Business:**

**a. Administrative Approvals**

Mr. Crews stated there was only one administrative approval for the month, which was for an in-kind repair to the roof at Johnson Funeral Home at 530 South Sycamore Street to address a leaking issue.

**b. Update on Renovation at 702-708 Harrison Street**

Mr. Crews reminded the Board the City’s Code Compliance Department had brought a request to demolish the structure at 702-708 Harrison Street in September, 2025. Mr. Crews stated that request was denied, noting the property owner had asked for the opportunity to stabilize and rehabilitate the home. Mr. Crews stated a building permit had been issued for plans to stabilize the structure, noting he wanted to make the Board aware the owner was following through on his request.

**c. Miscellaneous**

Mr. Crews noted Mr. Squires had emailed some photos showing examples of the issues he had mentioned with windows on historic structures. The Board reviewed these photos and asked Mr. Squires to provide additional examples of properties within the local historic districts.

Mr. Crews informed the Board Virginia Commonwealth University (VCU) was adding an Architectural Review Board Certification to its Land Use Education Program. Mr. Crews stated similar trainings have been available for Planning Commissions and Boards of Zoning Appeals and noted the programs are highly recommended. Mr. Crews stated he would try to provide money in the upcoming budget so Board members may be able to attend the training.

**Adjournment:**

**The meeting was adjourned at 7:07 p.m.**

**6a. 120 Pine Street**

**Historic District:** Folley Castle  
**Review Date:** March 11, 2026  
**Tax Parcel #:** 023-28-0017

**Applicant:** Joel Mieses

**City of Petersburg  
Architectural Review Board  
Staff Report**



**Project Description:** Construct new single-family dwelling on vacant lot

**Applicant proposal:**

The applicant proposes to construct an 1,860-square-foot, two-story dwelling on the lot. The proposed dwelling features horizontal Hardie Plank siding with PVC trim board, a dimensional asphalt shingle roof with ridge vent, and a covered front porch with a Richmond style railing and wood lattice. Double-hung Fibrex-coated windows from the Andersen A Series are proposed. The proposed dwelling is 29 feet tall at the roof peak. The home would be located 25 feet from the front property line, and an exposed aggregate concrete driveway is planned.

**Attachments:**

Application, plot and building plans, window specifications



**Staff Recommendation:**

**Approval based on the Design Guidelines Chapter 7**

The Historic Districts Design Guidelines state the most important criteria for new residential construction are “setback, spacing, general massing” as well as relation to neighboring structures, particularly in regard to roof and porch form.

There are few homes remaining on this block of Pine Street, but the homes are two-story except the Burr Lofts apartments. The proposed dwelling generally matches the scale and character of the existing development and the materials proposed are appropriate for new construction. The lot is wide enough to accommodate the driveway to the side of the home.

The Board should consider the guideline recommendations on setbacks for new construction which state a new home should be sited within 20 percent of the average building line of existing development. The average on the block is approximately 15.4 feet, but staff would note neither home on the same side of the street as the proposed dwelling is directly abutting the property. Similar plans for a dwelling on this lot were reviewed and denied at the February 11, 2026 meeting, but the applicant has updated the plans in accordance with the Board’s guidance, including use of a shed-style roof on the porch and symmetrical alignment of the windows.



City of Petersburg - Architectural Review Board
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: 120 Pine Street Petersburg, VA 23803
Historic District: Folley Castle

[X] Application for COA [ ] Application for Historic Building Plaque [ ] Application for Discussion

Applicant: Joel Mieses E-Mail: [Redacted]
Address: 7224 Buggy Place North Chesterfield, VA 23225 Phone: [Redacted]
Owner: Intergrity Investments/Elmer Davila E-Mail: [Redacted]
Address: 8643 Pleasant Ridge rd North Chesterfield, VA 23237 Phone: [Redacted]
Firm/Contractor Preparing Plans: Architect Joel Mieses 7224 E-Mail: [Redacted]
Address: Buggy Place North Chesterfield, VA 23235 Phone: [Redacted]
Firm/Contractor to Perform Work: TBA E-Mail: [Redacted]
Address: [Redacted] Phone: [Redacted]

Type of Project: [X] Residential [ ] Commercial
Category: [ ] Repair [ ] Renovation, Restoration [ ] Change in materials [ ] Approval of paint colors [ ] Fencing [ ] Signage
[ ] Addition [ ] Driveway, sidewalk, parking lots [X] New construction [ ] Demolition [ ] Plaque [ ] Other:

Project Description (attached additional sheets as needed):
Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.

This a single family Two-story residence. 1860 SF. The exterior sheathing will be composed of Hardie Planks (cement board). The exterior windows will be Andersen Fibrex A-Series windows Double Hung. The roof will be Dimensional Asphalt Singles.

[Signature]
Applicant's Signature
02/25/25
Date

FOR OFFICE USE
Date received: [ ] Agenda date: [ ]
Tax Parcel: [ ] Zoning: [ ]
Additional permits needed from planning: [ ]

# RESIDENTIAL CONSTRUCTION DOCUMENTS



SIDE PRACTICE  
DESIGN STUDIO LLC  
1000 HUGGINS PLACE  
NORTH WOODBRIDGE, VA  
22062-5059  
SIDEPRACTICE@GMAIL.COM

## PROJECT LOCATION



120 PINE ST  
PETERSBURG, VA  
23803

## PROJECT INFORMATION

**SCOPE OF WORK:**  
DESCRIPTION: SINGLE FAMILY 2-STORY RESIDENCE. WOOD LIGHT FRAME, SHINGLE SLOPE ROOF WITH HARDIE PLANK SIDING RAINSCREEN  
**SQUARE FOOTAGE:**  
1,860

**APPLICABLE CODES**  
2021 VIRGINIA RESIDENTIAL CONSTRUCTION CODE

**CODE ANALYSIS**  
OCCUPANCY: R-5  
CONSTRUCTION TYPE: V-B  
UNSPRINKLERED

## SHEET INDEX

- T-1: COVER SHEET
- SP-1: SITE PLOT PLAN
- S-1: FOUNDATION PLANS/FIRST FLOOR FRAMING
- A-1: FLOOR PLANS
- A-2: FRAMING/ROOF PLANS
- A-3: ELEVATIONS
- A-4: BRACE WALL PLANS
- A-5: SECTIONS, WALL DETAILS, INTERIOR ELEVATIONS

## GRAPHIC SYMBOLS

GENERAL	CONSTRUCTION
<p>1-1 NUMBER ON SHEET EXTERIOR ELEVATION REFERENCE DRAWINGS ON WHICH ELEVATION IS DRAWN</p> <p>2-2 NUMBER ON SHEET INTERIOR ELEVATION REFERENCE DRAWINGS ON WHICH ELEVATION IS DRAWN</p> <p>3-3 SECTION NUMBER BUILDING SECTION REFERENCE DRAWINGS ON WHICH SECTION IS DRAWN</p> <p>4-4 SECTION NUMBER WALL SECTION REFERENCE DRAWINGS ON WHICH SECTION IS DRAWN</p> <p>5-5 CALLOUT NUMBER DETAIL CALLOUT REFERENCE</p> <p>6-6 PLAN OR DETAIL NUMBER PLAN OR DETAIL TITLE View Name SCALE: 1/8" = 1'-0" DRAWING SCALE SHEET NUMBER</p> <p>7-7 SPOT ELEVATION</p>	<p><b>GENERAL CONSTRUCTION SYMBOLS</b></p> <p>ROOM TAG</p> <p>ALIGN</p> <p>CENTERLINE</p> <p>MATCHLINE</p> <p>DOOR TAG</p> <p>PARTITION TAG</p> <p>WINDOW TAG</p> <p>LOUVER TAG</p> <p><b>CONSTRUCTION PLAN LEGEND</b></p> <p>AREA NOT IN SCOPE</p> <p>NEW GLASS PARTITION</p> <p>NEW DOOR</p> <p>EXISTING DOOR TO REMAIN</p> <p>NEW WALL</p> <p>EXISTING WALL TO REMAIN</p> <p>BLOCKWORK PROVIDE BLOCKING WITH PARTITION AS REQUIRED. SEE REFERENCED ELEVATION AND CORRESPONDING DETAILS.</p> <p>RECESSED FIRE EXTINGUISHER CABINET</p> <p>BREAK POINT BETWEEN (2) OBJECTS/MATERIALS</p> <p>CARD READER</p> <p><b>DEMO PLAN LEGEND</b></p> <p>AREA NOT IN SCOPE</p> <p>DEMO DOOR</p> <p>EXISTING DOOR TO REMAIN</p> <p>DEMO WALL</p> <p>EXISTING WALL TO REMAIN</p> <p>DEMO MULLOOK</p>

PREPARED FOR:  
INTEGRITY  
INVESTMENTS

RESIDENTIAL  
CONSTRUCTION DOCUMENTS  
120 PINE ST  
PETERSBURG, VA  
23803

10/20/2023 08:02

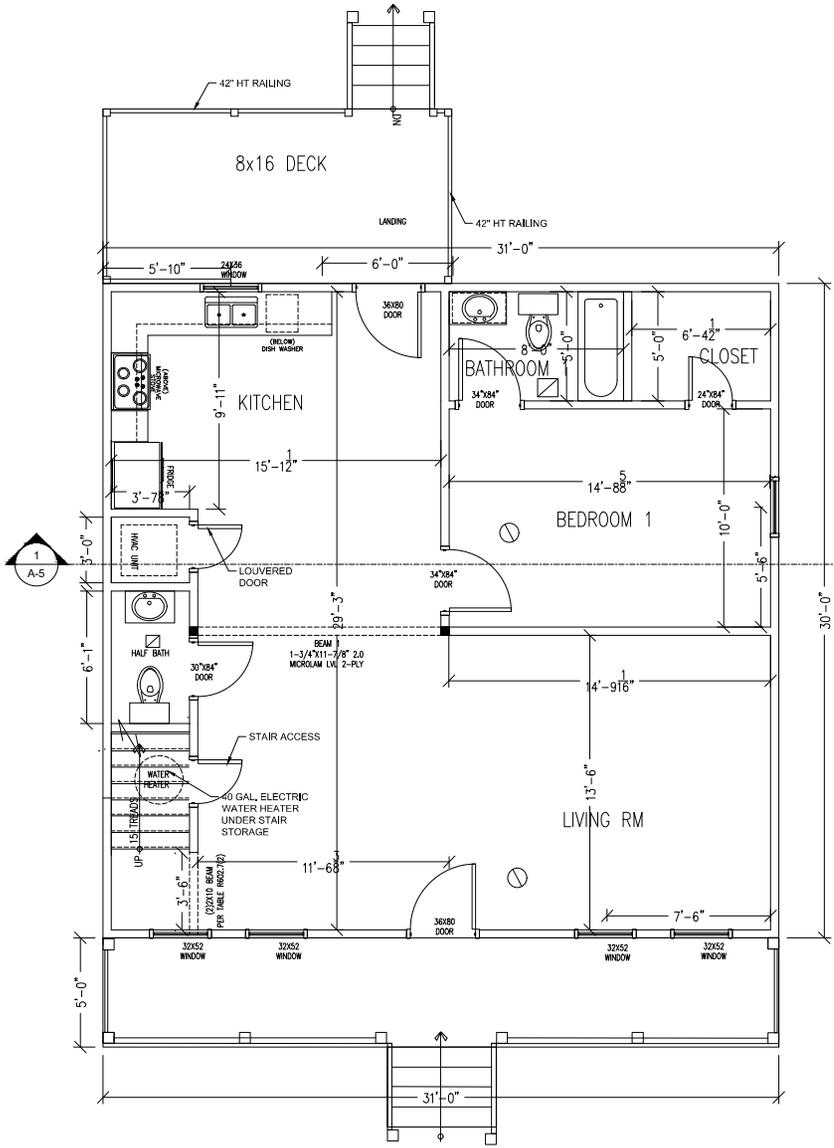
COVER  
SHEET

SHEET  
T-1  
SCALE AS NOTED

## GENERAL NOTES

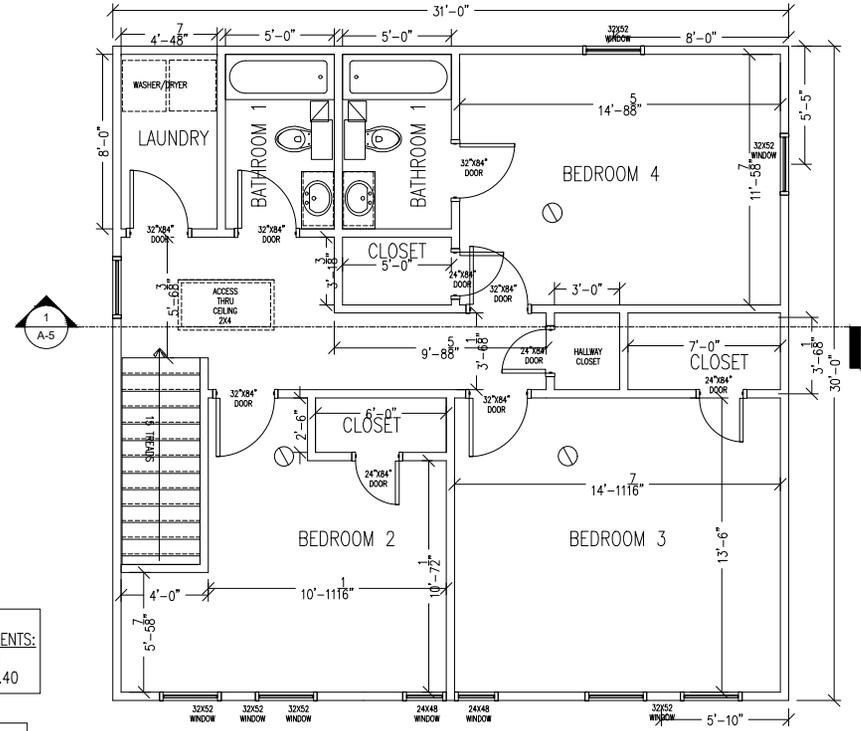
- CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF PLANS WITH ALL REQUIREMENTS AND LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR, AND MANUFACTURERS RECOMMENDATIONS PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, ETC. WHICH ARE CALLED FOR OR REQUIRED BY LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR AND MANUFACTURERS AND NOT SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS TO COMPLETE A TURNKEY JOB SHALL BE PAID FOR AND BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DRAWINGS ARE DIAGNOSTIC, INTENDED TO OUTLINE GENERAL REQUIREMENTS ONLY AND NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATIONS OF PLANS SHALL BE THE REQUIREMENT OF THE CONTRACTOR WHO REPRESENTS HE HAS THE SKILL AND EXPERT KNOWLEDGE TO EXECUTE THE WORK REQUIRED.
- ALL WORK SHALL BE ACCURATELY LAID OUT IN COOPERATION WITH OTHER TRADES TO AVOID CONFLICTS AND TO OBTAIN A NEAT WORKMANLIKE INSTALLATION. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH ADDING OR CONNECTING WORK ON WHICH THE CONSTRUCTION OF HIS WORK IS DEPENDENT FOR A TURNKEY JOB.
- ALL DRAWINGS ARE INTENDED TO BE RIGID IN SPECIFIC DETAILS. WHERE SUCH DETAILS MAY BE IN CONFLICT WITH RECOMMENDATIONS OF THE MANUFACTURER OF EQUIPMENT ACTUALLY PROVIDED AND WHEN DISCREPANCIES BETWEEN DRAWINGS AND RECOMMENDATIONS CHANGE THE INTENT OF THE DRAWINGS, SUCH CHANGES ARE TO BE APPROVED BY HHHUNT.
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROTECT HIS AND OTHERS WORK FROM DAMAGE DUE TO HIS OPERATIONS AND SHALL REPLACE, OR REPAIR AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
- MEASUREMENTS AND WORKMANSHIP AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK BY EACH SUB-CONTRACTOR. EACH SUB-CONTRACTOR SHALL VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM HIS FAILURE TO EXERCISE SUCH VERIFICATION.
- THE ELECTRICAL AND MECHANICAL CONTRACTORS SHALL OBTAIN AND SUBMIT TO THE LOCAL DEPARTMENT OF BUILDING INSPECTIONS ALL DRAWINGS AND DOCUMENTATION REQUIRED TO OBTAIN A PERMIT FOR THE ELECTRICAL AND MECHANICAL WORK.
- BLOCKING: GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING ON WALLS AND CEILING FOR ATTACHING FIXTURES, EQUIPMENT, DRAPERY TRACK, ETC.





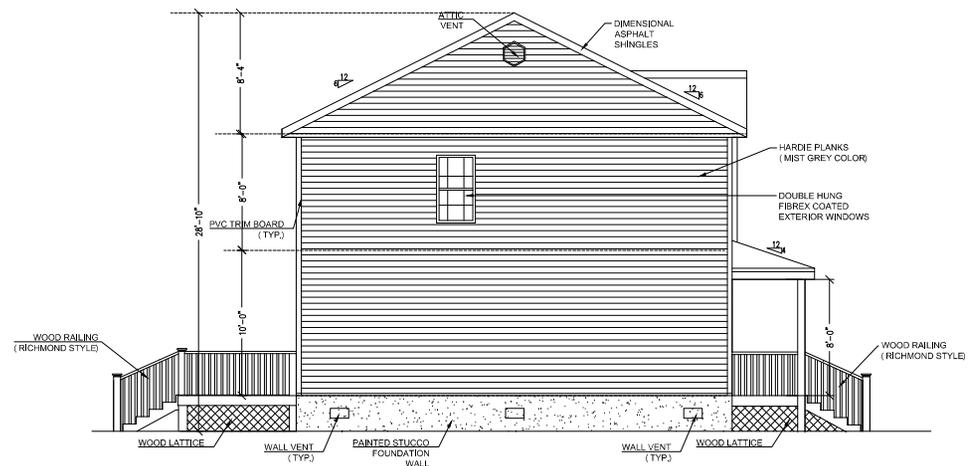
GENERAL NOTE:  
THERMAL ENVELOPE REQUIREMENTS:  
FENESTRATION U FACTOR=0.32  
GLAZED FENESTRATION SHCG=.40

- KEY
-  SMOKE/CARBON MONOXIDE ALARM
  -  50 CFM EXHAUST FAN
  -  LOAD BEARING WALLS

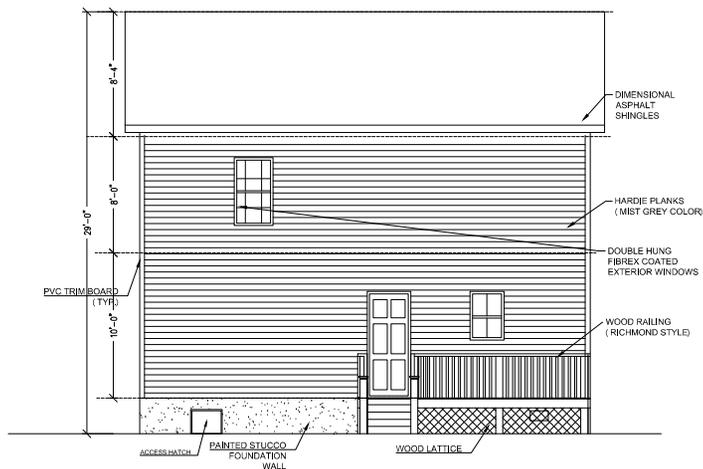




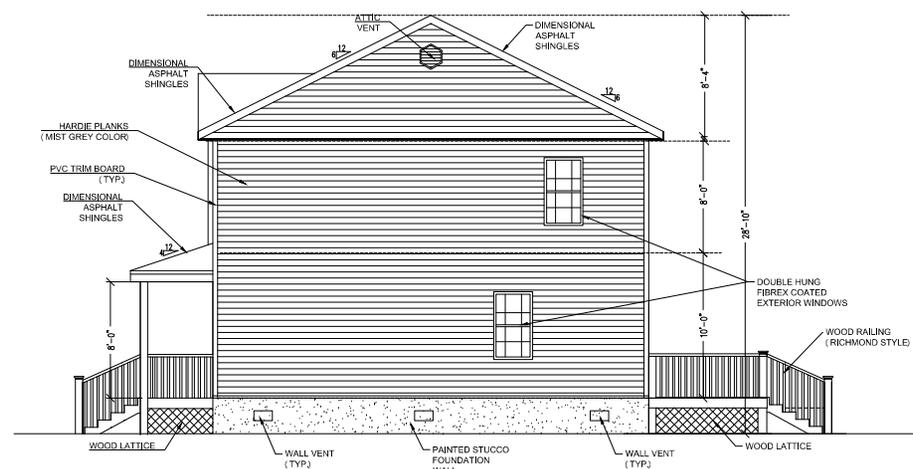
**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**3 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**4 RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



## Double-Hung Windows

Andersen® A-Series double-hung windows feature traditional styling that includes a tall bottom rail and a spoon-style lock. A-Series double-hung windows are available with all of our energy-efficient glass options, and their exteriors are virtually maintenance-free. A sophisticated one-touch release allows the sash to tilt in for easy cleaning from the inside.



### DURABLE

- Virtually maintenance-free
- Exterior finish never needs painting and won't flake, rot, blister, peel or corrode\*
- Exteriors are protected by a Fibrex® material and fiberglass for long-lasting\* performance

### ENERGY-EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Variety of High-Performance Low-E4® glass options available to help control heating and cooling costs in any climate
- Many A-Series casement windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.

### BEAUTIFUL

- Eleven exterior color options and a variety of interior options
- Extensive hardware selection, grilles, between-the-glass art glass and patterned glass options



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency.

**OPTIONS & ACCESSORIES**

- Four Low-E® glass options
- Four patterned glass options
- 13 exclusive art glass designs that are placed between the glass
- Available with Stormwatch® protection for coastal areas
- Variety of grille styles and sizes
- Wide variety of hardware styles and finishes
- Exterior trim options

**EXTERIOR COLORS**



**TRIM STYLE OPTIONS**



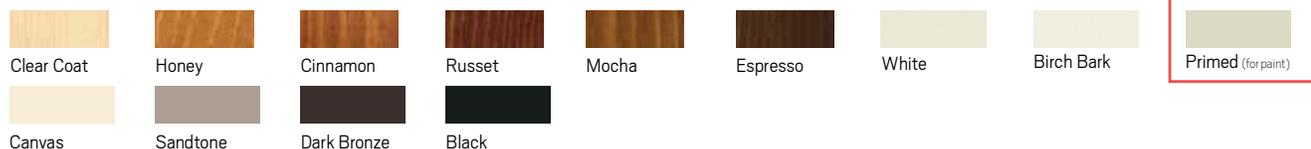
**INTERIOR OPTIONS**

**Wood Species**



**Interior Finishes & Painted Options**

*Shown on Pine. Available on Pine, Maple and Oak only.*



**HARDWARE STYLES & FINISHES**



\*Actual wood is sapele, a non-endangered species of mahogany, grown in Africa, with color and characteristics of American mahoganies.

Printing limitations prevent exact duplication of colors and replication of finishes. See your Andersen dealer for actual color and finish samples. Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a painted interior is specified.

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**6b. 130 Tulip Alley**

**Historic District:** Poplar Lawn  
**Review Date:** March 11, 2026  
**Tax Parcel #:** 022-26-0026

**Applicant:** Joel Mieses

**City of Petersburg  
Architectural Review Board  
Staff Report**



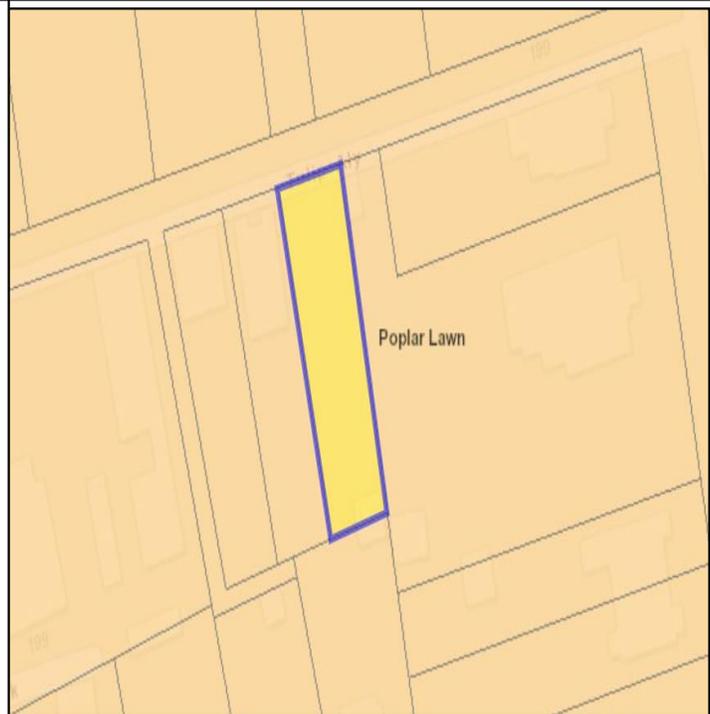
**Project Description:** Construct new single-family dwelling on vacant lot

**Applicant proposal:**

The applicant proposes to construct a 2,000-square-foot, two-story dwelling on the lot. The proposed dwelling features horizontal Hardie Plank siding with PVC trim board, a dimensional asphalt shingle roof with ridge vent, and a covered front porch with a Richmond style railing and wood cover underneath. Double-hung Fibrex-coated windows from the Andersen A Series are proposed. The proposed dwelling is 26.5 feet tall at the roof peak. The home would be located 5 feet from the front property line, and an exposed aggregate concrete driveway is planned.

**Attachments:**

Application, plot and building plans, window specifications



Staff Recommendation:

**Approval based on the Design Guidelines Chapter 7**

The Historic Districts Design Guidelines state the most important criteria for new residential construction are “setback, spacing, general massing” as well as relation to neighboring structures, particularly in regard to roof and porch form.

Please note plans for a similar home on this lot were reviewed and denied at the February 11, 2026 meeting. A The Board determined a proposed secondary gable roof was inappropriate and asked whether the driveway could be located to the rear of the home so the home could be built closer to the front lot line. The applicant updated the design plans for the home in accordance with the Board’s guidance and has sited the driveway to the side of the home to bring the front of the proposed home into line with the existing homes on the street.

Staff previously indicated the proposed dwelling would be taller and larger than the existing two homes on Tulip Alley, particularly the one immediately adjacent, and the Board indicated they were comfortable with the variation in height and mass.



City of Petersburg - Architectural Review Board
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: 130 Tulip Alley Petersburg, VA 23803
Historic District: Poplar Lawn

[X] Application for COA [ ] Application for Historic Building Plaque [ ] Application for Discussion

Applicant: Joel Mieses E-Mail:
Address: 7224 Buggy Place North Chesterfield, VA 23225 Phone:

Owner: Kelvin Marte E-Mail:
Address: 6110 Belrun Court North Chesterfield, VA 23234 Phone:

Firm/Contractor Preparing Plans: Architect Joel Mieses 7224 E-Mail:
Address: Buggy Place North Chesterfield, VA 23235 Phone:

Firm/Contractor to Perform Work: TBA E-Mail:
Address: Phone:



Type of Project: [X] Residential [ ] Commercial
Category: [ ] Repair [ ] Renovation, Restoration [ ] Change in materials [ ] Approval of paint colors [ ] Fencing [ ] Signage
[ ] Addition [ ] Driveway, sidewalk, parking lots [X] New construction [ ] Demolition [ ] Plaque [ ] Other:

Project Description (attached additional sheets as needed):
Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.

This a single family Two-story residence. 2000 SF. The exterior sheathing will be composed of Hardie Planks (cement board). The exterior windows will be Andersen Fibrex A-Series windows Double Hung. The roof will be Dimensional Asphalt Singles.

[Signature]
Applicant's Signature

02/25/25
Date

FOR OFFICE USE
Date received: Agenda date:
Tax Parcel: Zoning:
Additional permits needed from planning:

# RESIDENTIAL CONSTRUCTION DOCUMENTS



SIDE PRACTICE  
DESIGN STUDIO LLC  
704 BOGGY RACE  
NORTH PETERSBURG, FL  
34104  
813.531.5297  
SIDEPRACTICE@GMAIL.COM

## PROJECT LOCATION



130 TULIP ALLEY  
PETERSBURG, VA  
23803

## PROJECT INFORMATION

**SCOPE OF WORK:**  
DESCRIPTION: SINGLE FAMILY 2-STORY RESIDENCE.  
WOOD LIGHT FRAME, SHINGLE SLOPE ROOF WITH HARDIE PLANK  
SIDING RAIN SCREEN

**SQUARE FOOTAGE:**  
2000 TOTAL

**APPLICABLE CODES**  
2021 VIRGINIA RESIDENTIAL CONSTRUCTION CODE

**CODE ANALYSIS**  
OCCUPANCY: R-5  
CONSTRUCTION TYPE: V-B  
UNSPRINKLERED

## SHEET INDEX

- T-1: COVER SHEET
- S-1: FOUNDATION PLANS/FIRST FLOOR FRAMING
- A-1: FLOOR PLANS
- A-2.1: FRAMING PLANS
- A-2.1.1: ROOF FRAMING/ROOF PLANS
- A-4: ELEVATIONS
- A-5: BRACE WALL PLANS
- A-6: SECTIONS, WALL DETAILS,  
INTERIOR ELEVATIONS

## GRAPHIC SYMBOLS

GENERAL	CONSTRUCTION
<p>NUMBER ON SHEET EXTERIOR ELEVATION REFERENCE</p> <p>NUMBER ON SHEET INTERIOR ELEVATION REFERENCE</p> <p>SECTION NUMBER BUILDING SECTION REFERENCE</p> <p>SECTION NUMBER WALL SECTION REFERENCE</p> <p>CALLOUT NUMBER SHEET ON WHICH CALLOUT IS DRAWN</p> <p>DETAIL CALLOUT REFERENCE</p> <p>PLAN OR DETAIL NUMBER PLAN OR DETAIL TITLE</p> <p>DRAWING SCALE SHEET NUMBER</p> <p>SPOT ELEVATION</p>	<p><b>GENERAL CONSTRUCTION SYMBOLS</b></p> <p>Room Name ROOF TAG</p> <p>ALIAS PARTITION TAG</p> <p>CENTERLINE WINDOW TAG</p> <p>MATCHLINE LOUVER TAG</p> <p><b>CONSTRUCTION PLAN LEGEND</b></p> <p>AREA NOT IN SCOPE NEW SLAB PARTITION</p> <p>NEW DOOR EXISTING DOOR TO REMAIN</p> <p>NEW WALL EXISTING WALL TO REMAIN</p> <p>RELATIONS: PROVIDE BLOCKING WITH PARTITION AS REQUIRED. SEE REFERENCED ELEVATION AND CORRESPONDING DETAILS.</p> <p>RECESSED FIRE EXTINGUISHER CABINET</p> <p>BREAK POINT BETWEEN (2) OBJECTS/MATERIALS</p> <p>CARD HEADER</p> <p><b>DEMO PLAN LEGEND</b></p> <p>AREA NOT IN SCOPE DEMO SLAB PARTITION</p> <p>DEMO DOOR EXISTING DOOR TO REMAIN</p> <p>DEMO WALL EXISTING WALL TO REMAIN</p> <p>DEMO MILLWORK</p>

## GENERAL NOTES

- CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF PLANS WITH ALL REQUIREMENTS AND LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR, AND MANUFACTURERS RECOMMENDATIONS PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, ETC. WHICH ARE CALLED FOR OR REQUIRED BY LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR AND MANUFACTURERS AND NOT SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS TO COMPLETE A TURNKEY JOB SHALL BE PAID FOR AND BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO OUTLINE GENERAL REQUIREMENTS ONLY AND NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATIONS OF PLANS SHALL BE THE REQUIREMENT OF THE CONTRACTOR WHO REPRESENTS HE HAS THE SKILL AND EXPERT KNOWLEDGE TO EXECUTE THE WORK REQUIRED.
- ALL WORK SHALL BE ACCURATELY LAID OUT IN COOPERATION WITH OTHER TRADES TO AVOID CONFLICTS AND TO OBTAIN A NEAT WORKMANLIKE INSTALLATION. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH ADJOINING OR CONNECTING WORK ON WHICH THE CONSTRUCTION OF HIS WORK IS DEPENDENT FOR A TURNKEY JOB.
- ALL DRAWINGS ARE INTENDED TO BE RIGID IN SPECIFIC DETAILS. WHERE SUCH DETAILS MAY BE IN CONFLICT WITH RECOMMENDATIONS OF THE MANUFACTURER OF EQUIPMENT ACTUALLY PROVIDED AND WHEN DISCREPANCIES BETWEEN DRAWINGS AND RECOMMENDATIONS CHANGE THE INTENT OF THE DRAWINGS,
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROTECT HIS AND OTHERS WORK FROM DAMAGE DUE TO HIS OPERATIONS AND SHALL REPLACE, OR REPAIR AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
- MEASUREMENTS AND WORKMANSHIP AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK BY EACH SUB-CONTRACTOR. EACH SUB-CONTRACTOR SHALL VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM HIS FAILURE TO EXERCISE SUCH VERIFICATION.
- THE ELECTRICAL AND MECHANICAL CONTRACTORS SHALL OBTAIN AND SUBMIT TO THE LOCAL DEPARTMENT OF BUILDING INSPECTIONS ALL DRAWINGS AND DOCUMENTATION REQUIRED TO OBTAIN A PERMIT FOR THE ELECTRICAL AND MECHANICAL WORK PRIOR TO INSTALLATION.
- BLOCKING: GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING ON WALLS AND CEILING FOR ATTACHING FIXTURES, EQUIPMENT, DRAPERY TRACK, ETC.

PREPARED FOR:  
KELVIN MARTE

RESIDENCE CONSTRUCTION  
DOCUMENTS  
130 TULIP ALLEY  
PETERSBURG, RD  
23803

PLAN/SECTION/DATE

COVER SHEET

SHEET

T-1

SCALE AS NOTED

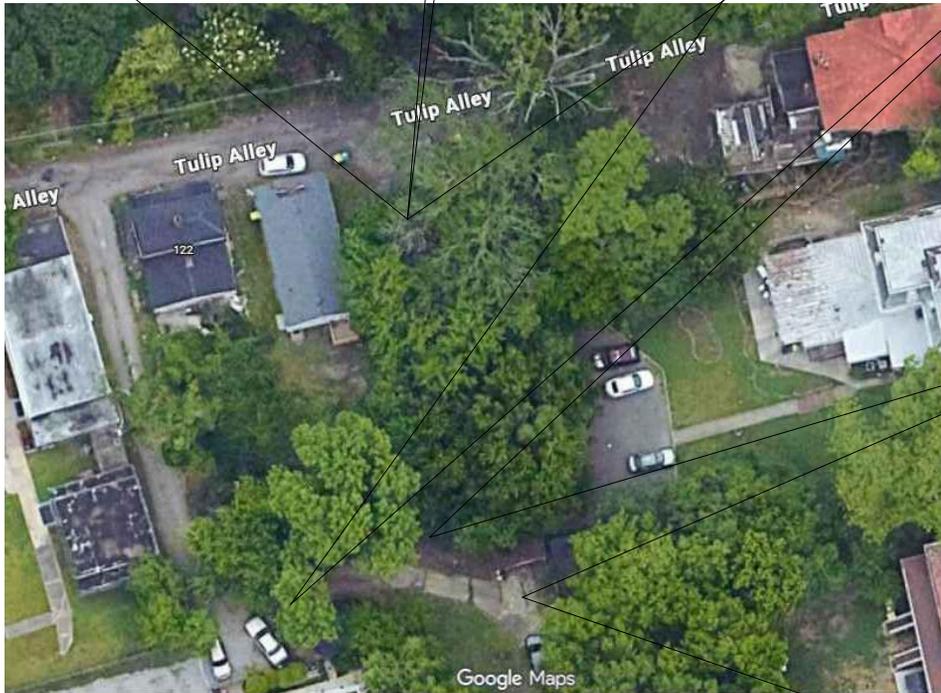




**CURRENT SITE CONDITIONS**



**REAR SITE PICTURES**



**PRIVATE DRIVE**



**SIDE PRACTICE  
DESIGN STUDIO LLC**  
704 BERRY PLACE  
NORTH ANDERSON, VA  
24461-5019  
804.512.5019  
SIDEPRACTICEDESIGNSTUDIO.COM



10-10-2008

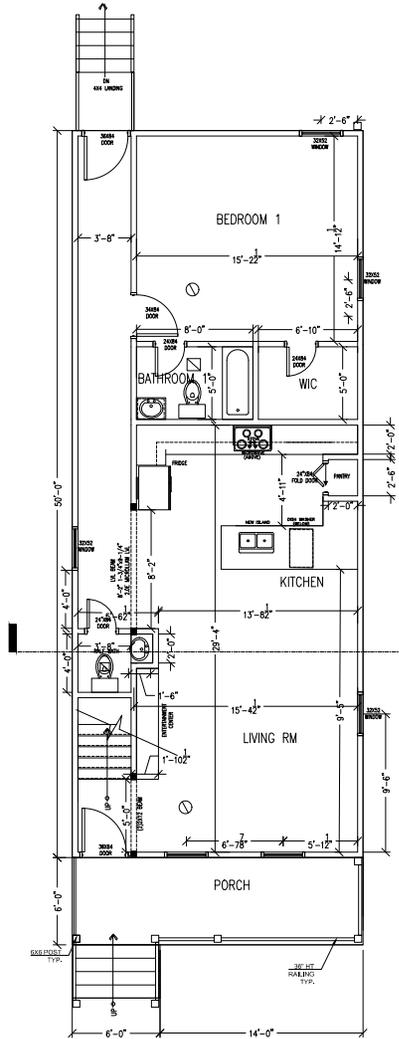
**PREPARED FOR:  
KELVIN MARTE**

**RESIDENCE CONSTRUCTION  
DOCUMENTS**  
130 TULIP ALLEY  
PETERSBURG, RD  
22803

PLAN REVISIONS DATES

**SITE PICTURES**

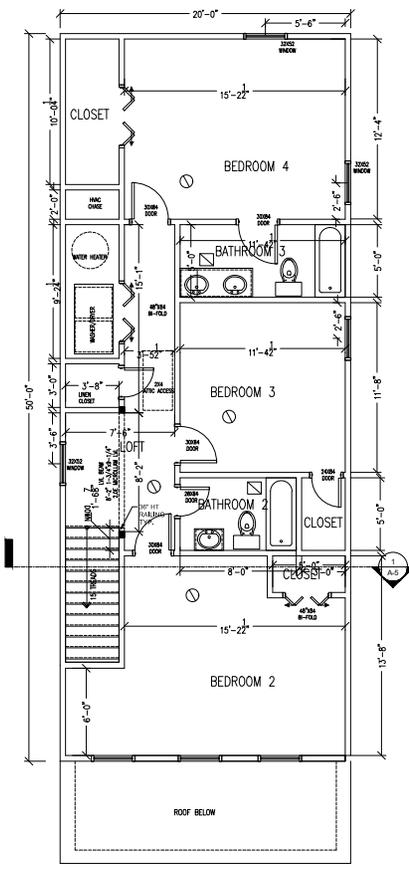
SHEET  
**SP**  
SCALE AS NOTED



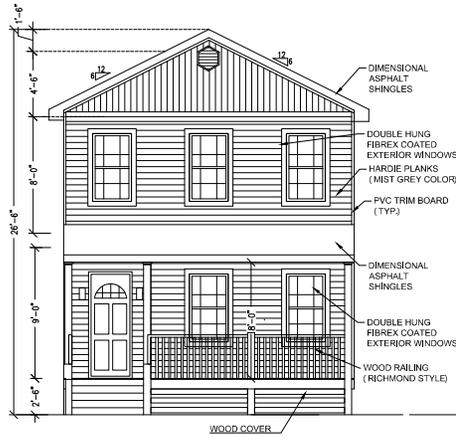
**1 FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

GENERAL NOTE:  
THERMAL ENVELOPE REQUIREMENTS:  
FENESTRATION U FACTOR=0.32  
GLAZED FENESTRATION SHCG=0.40  
\*ALL WINDOWS TO BE INSTALLED THAN  
36" AFF UNLESS OTHERWISE  
NOTED

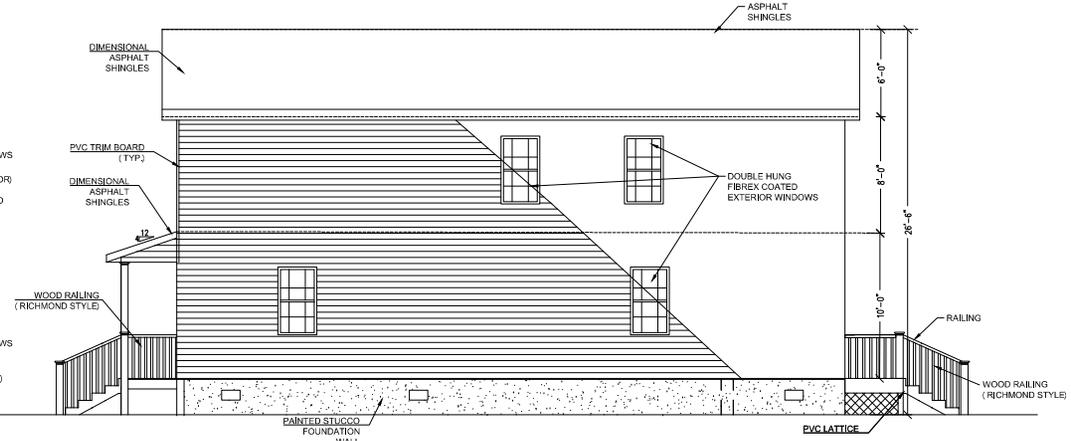
- KEY
- ▣ LOAD BEARING WALLS
  - ⊙ SMOKE/CARBON MONOXIDE ALARM
  - ⊞ 50 CFM EXHAUST FAN



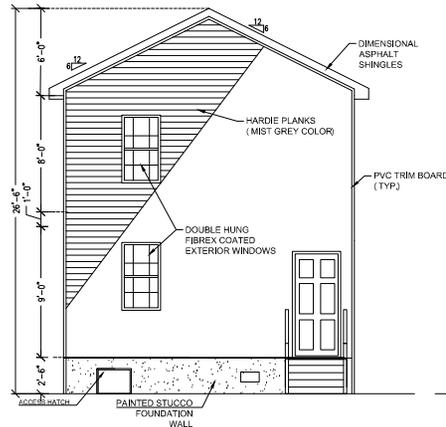
**2 SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



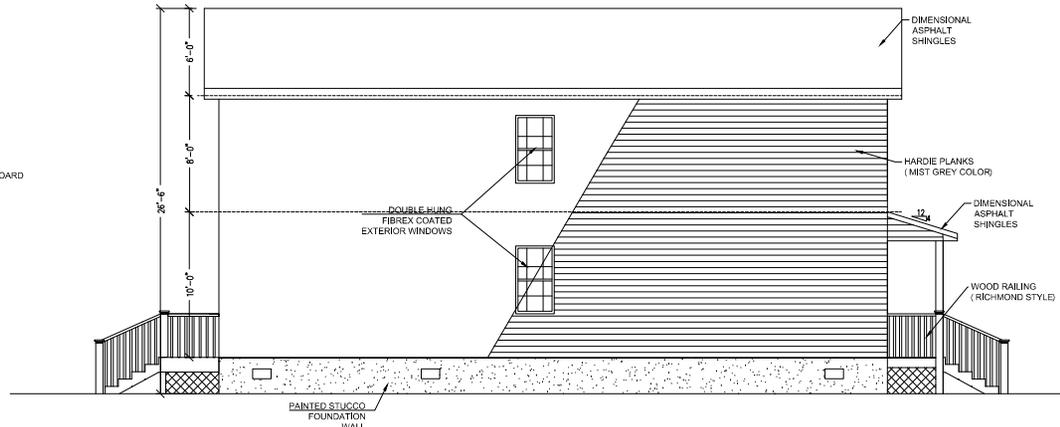
**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**2 RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**3 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**4 LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



## Double-Hung Windows

Andersen® A-Series double-hung windows feature traditional styling that includes a tall bottom rail and a spoon-style lock. A-Series double-hung windows are available with all of our energy-efficient glass options, and their exteriors are virtually maintenance-free. A sophisticated one-touch release allows the sash to tilt in for easy cleaning from the inside.



### DURABLE

- Virtually maintenance-free
- Exterior finish never needs painting and won't flake, rot, blister, peel or corrode\*
- Exteriors are protected by a Fibrex® material and fiberglass for long-lasting\* performance

### ENERGY-EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Variety of High-Performance Low-E4® glass options available to help control heating and cooling costs in any climate
- Many A-Series casement windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.

### BEAUTIFUL

- Eleven exterior color options and a variety of interior options
- Extensive hardware selection, grilles, between-the-glass art glass and patterned glass options



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency.

**OPTIONS & ACCESSORIES**

- Four Low-E® glass options
- Four patterned glass options
- 13 exclusive art glass designs that are placed between the glass
- Available with Stormwatch® protection for coastal areas
- Variety of grille styles and sizes
- Wide variety of hardware styles and finishes
- Exterior trim options

**EXTERIOR COLORS**



**TRIM STYLE OPTIONS**



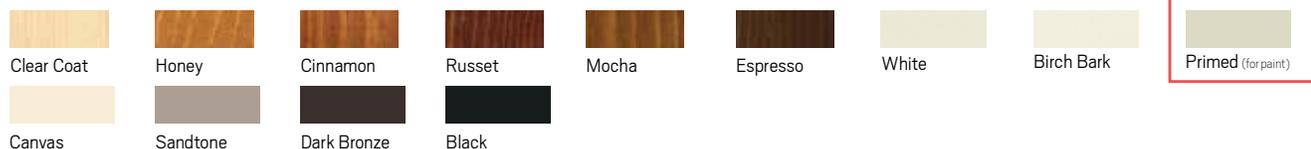
**INTERIOR OPTIONS**

**Wood Species**



**Interior Finishes & Painted Options**

*Shown on Pine. Available on Pine, Maple and Oak only.*



**HARDWARE STYLES & FINISHES**



\*Actual wood is sapele, a non-endangered species of mahogany, grown in Africa, with color and characteristics of American mahoganies.

Printing limitations prevent exact duplication of colors and replication of finishes. See your Andersen dealer for actual color and finish samples. Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a painted interior is specified.

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For more information, visit [andersenwindows.com/a-series](http://andersenwindows.com/a-series)

For help finding an Andersen product or dealer near you, please call us at 877.577.7655 or visit [andersenwindows.com](http://andersenwindows.com).

**6c. 2 East Washington Street**

**Historic District:** Courthouse  
**Review Date:** March 11, 2026  
**Tax Parcel #:** 022-08-0001

**Applicant:** Kenethia Hines

**City of Petersburg  
Architectural Review Board  
Staff Report**



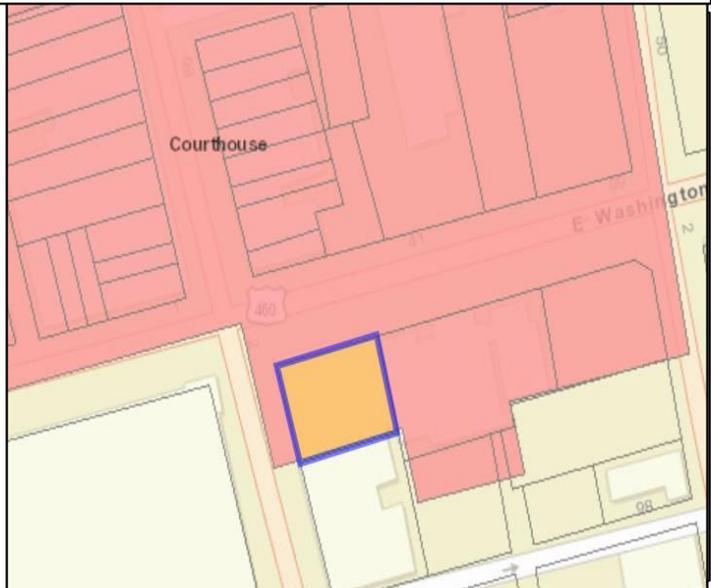
**Project Description:** Install 49.6 Square-Foot Wall-Mounted on Storefront

**Applicant proposal:**

The applicant requests approval of a previously-installed 49.6-square-foot sign on the face of the building. The sign is internally illuminated with white LED lettering. The sign has 24-inch lettering for the top line of text with 12-inch lettering below. The sign includes various shades of purple as well as blue, black, and white.

**Attachments:**

Application, sign permit application, renderings, photo of sign installed sign



**Staff Recommendation:**  
**Denial based on the Design Guidelines Chapter 9**

The Historic Districts Design Guidelines state “Signs are a vital part of the commercial areas of Petersburg's historic districts. A balance should, therefore, be struck between the need to call attention to individual businesses and the need for a positive image of the entire district.”

The Guidelines go on to say “the design of signs should reinforce and relate to existing architectural character and era of building, noting colors in signs should complement the materials and color scheme of the building. In this case, the sign stands out from the brick face of the building where it has been mounted. A projecting sign may be more appropriate for allowing the business to retain its branding without creating a visual impact on the building face.

The Design Guidelines state signs in the historic districts should be indirectly illuminated with a shielded incandescent light source, and the Zoning Ordinance was updated in December, 2025 to make this a requirement. The internal LED lighting in the sign is not appropriate and constitutes a violation of the Zoning Ordinance.

The guidelines also state that all signage on a building should not exceed 50 square feet in total. The sign on this application is just under the threshold. The Guidelines also state letter should be between 12 and 16 inches in height. The proposed sign includes 24-inch lettering.



City of Petersburg - Architectural Review Board  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: 2E. Washington St  
Historic District: Courthouse

Application for COA       Application for Historic Building Plaque       Application for Discussion

Applicant: 2E. Washington St Petersburg VA 23803 E-Mail: \_\_\_\_\_  
Address: Kenethia Hines Phone: \_\_\_\_\_

Owner: Kenethia Hines E-Mail: \_\_\_\_\_  
Address: 510 Hannon St Petersburg VA 23803 Phone: \_\_\_\_\_

Firm/Contractor Preparing Plans: \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Firm/Contractor to Perform Work: \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Type of Project:  
 Residential  
 Commercial

Category:  
 Repair  
 Renovation, Restoration  
 Change in materials  
 Approval of paint colors  
 Fencing  
 Signage

Addition  
 Driveway, sidewalk, parking lots  
 New construction  
 Demolition  
 Plaque  
 Other:

Project Description (attached additional sheets as needed):  
*Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.*

See attached picture

K. Hines  
Applicant's Signature

25/Feb/2026  
Date

FOR OFFICE USE  
Date received: \_\_\_\_\_ Agenda date: \_\_\_\_\_  
Tax Parcel: \_\_\_\_\_ Zoning: \_\_\_\_\_  
Additional permits needed from planning: \_\_\_\_\_

\*A complete application must be received at least 15 days prior to a regular Architectural Review Board meeting to be heard at that meeting.



City of Petersburg  
 Department of Planning and Community Development  
 Zoning Administration  
 135 North Union Street, Room 304  
 Petersburg, Virginia 23803  
 (804) 733-2308

# Permit Application

Date: 02/17/2026

## Applicant / Owner

Applicant Name:	Hispanos Unidos (Permit Liaison- Agent)	Owner Name:	Tenant: Kenethia Hines (Beauty Conveyance)
Address:	7501 Boulder View Dr, Suite 120	Address:	2 E. Washington St
City, State, Zip:	Richmond VA 23225	City, State, Zip:	Petersburg, VA 23803
Phone:	7038010415	Phone:	<input type="text"/>
Email:		Email:	<input type="text"/>

## Location / Contractor

Business Name:	Beauty Conveyance	Contractor:	Tenant: Kenethia Hines (Beauty Conveyance)
Site Address:	2 E. Washington St	Address:	2 E. Washington St
City, State, Zip:		City, State, Zip:	Petersburg, VA 23803
Parcel:	022080001	Phone:	<input type="text"/>
Subdivision:		Email:	<input type="text"/>
Lot:			
Historic District:	Courthouse		

Project Description:

## Sign Information

Sign Type:	Wall	Sign Supports:	0
Material:	Acrylic	Overall Height:	N/A
Existing Sign:		Sign Clearance:	n/A
Sign Height:	8	Support Material:	Aluminum
Sign Width:	19	Sign Weight:	N/A
Sign Area:	49.6	Illumination:	Internally Illuminated LED
Sign Face:	5 in		

Sign Wording: NOTE: Address for the location (2 E. Washington St) is different from the parcel information on GIS (7 S SYCAMORE ST, Parcel: 022080001).

**Project Information**

Area Sq.Ft.: 49.6

Street Frontage:

Area Acres: 49.6

Restrictions Expire:

Sign Located: Front of the store.

The following deed restrictions may affect the use of this property:

The proposed change in zoning is necessary for the preservation and enjoyment of a substantial property right because:

The material impact of the proposed rezoning will not be detrimental to the public welfare of the City nor to adjacent property owner(s) or properties located within the nearby vicinity because:

The proposed rezoning will be advantageous to the City and benefit the welfare of the general public because:

The proposed rezoning is necessary because suitable property for the proposed use is not presently situated within required existing zoning districts.

**Insurance Information**

ROW: No

Policy Expires: 2026-02-17

Provider:

Coverage Amount:

Policy Number:

Additional Insured:

**Historical District**

Is the overall square footage of the sign under 50 square feet? Yes

Is the signage proposed for a first-floor applicant? If no, specify which floor. Yes

Does the sign obscure more than 20 percent of any glass door or window? No

Lighting

If the sign is illuminated:

What is the source of lighting? (Note: Backlighting is **not** permitted): Internally Illuminated LED

What type of lighting is proposed? (Note: Lighting should be incandescent): LED

If a neon sign is proposed:

What is the area of the neon sign?

Is neon signage customary to the era of the building storefront?

Materials

Provide a list of materials used for the sign's construction. (e.g. wood, glass, metal, etc.):

Provide a list of proposed colors for the sign:

I do hereby certify that the information contained herein is true and correct.

Hispanos Unidos, Jean Carlos, Agent.

02/17/2026

Name

Date



<b>Beauty Conveyance</b>
FRONT LIT CHANNEL LETTERS Mounted on a RACEWAY
Internally Illuminated LED
2 E. Washington St. Peterburg VA 23803

**Color Specifications:**

- Black 3" Aluminum Returns
- Black 1" Trimcap
- Purple Acrylic Faces
- White Acrylic Faces

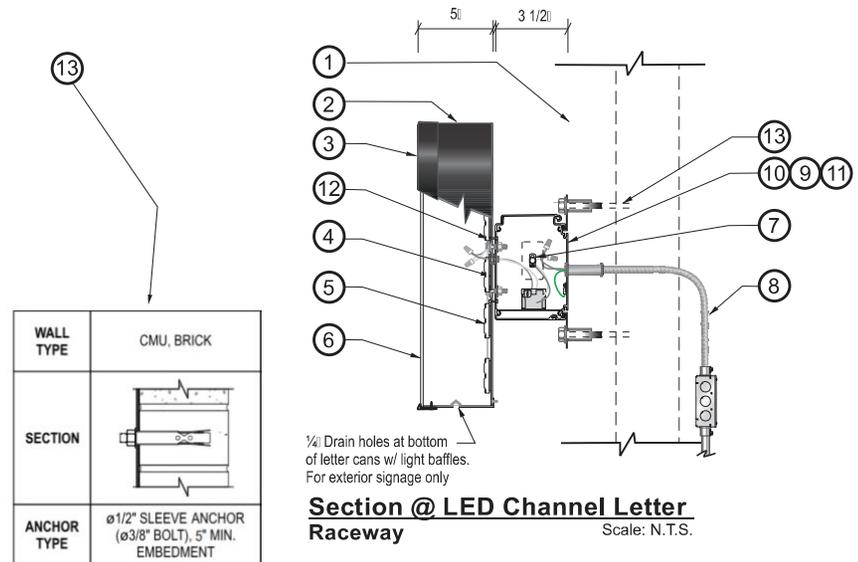
**Electrical Detail:**

- White LEDs
- (X) 60w Power Supplies
- Total Amps: X.XX
- (1) 20 amp 120V Circuit Req.



**Specifications:**

1. Existing Facade: To be determined
2. 0.040" Aluminum letter returns pre-finished Black
3. 1" Jewelite trimcap (Black) bonded to face and #8 pan headscrews to returns
4. .125" ACM backs (pre-finished white) fastened to returns. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration.
5. White LEDs
6. 3/16" white Acrylic faces
7. Disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC 600-6
8. Primary electrical feed in UL conduit / customer supplied UL junction box
9. Power Supplies
10. Low profile extruded aluminum raceway (5" x 3 1/2") w/ airtight cover. All painted to match the facade (color TBD)
11. 2" Aluminum mounting clips, Maximum 6" from each end and every 48" o.c. (TYP)
12. Rivets, 3/16" aluminum #66 (letter to raceway fastening) Thru bolt attachment for large letters.
13. Mounting hardware to suit



**contac info:**

**Phone:**  
**(804) 806-1415**  
**(240) 510-7192**

**Gmail:**  
**mejiasignsolutionllc@gmail.com**

*Approved By & Date:*

**PLEASE NOTE**

This Drawing must be returned signed & approved, any delay will result in delayed production time. We **DO NOT** assume responsibility for errors of any kind. Please inspect this drawing thoroughly to insure that all spelling is correct and that the artwork is accurate and correctly positioned

# EXAMPLE:



BEAUTY



CONVEYANCE

BEAUTY SUPPLY

2



**6d. 116 Liberty Street**

**Historic District:** Poplar Lawn  
**Review Date:** March 11, 2026  
**Tax Parcel #:** 022-31-0009

**Applicant:** Diane Curling

**City of Petersburg  
Architectural Review Board  
Staff Report**



**Project Description:** Repaint Exterior of Home

**Applicant proposal:**

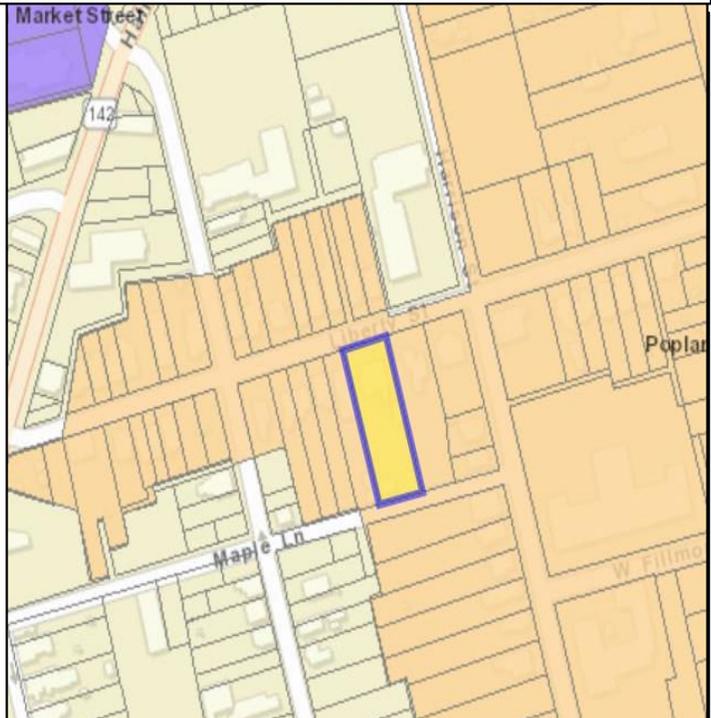
The applicant is seeking to repaint the exterior of the home the following colors:

- Body of home – Agapanthus (SW 9066)
- Columns and window mullions – Roman Column (SW 7562)
- Trim – Veiled Violet (SW 6268)

The front door of the home has also been painted blue and yellow. There was no Certificate of Appropriateness issued for this.

**Attachments:**

Application, color specifications, approved color chart, photos of home



**Staff Recommendation:  
Denial Based on Approved Color Chart**

The Board recently voted to use the City of Richmond’s approved color guide as a reference for reviewing requests to paint buildings in the historic districts. The guide provides guidance on appropriate colors according to architectural style and feature. Based on the guide, staff was not willing to administratively approve the colors and the applicant has asked the Board to review the request.

The home is a mix of Greek Revival and Italianate styles. According to the color guide, a pale or medium gray would be appropriate for the body, but the specific color proposed, Agapanthus is somewhat violet and does not appear comparable to the recommended colors on the approved chart. White does appear acceptable for the columns and mullions, but Roman Column is not included in the color chart and appears to be more suited for interior painting. The veiled violet proposed for the trim does not appear to be appropriate for a Greek Revival or Italianate structure and there is no similar color listed in the chart.

Staff would note the applicant has indicated the paint colors on the door are a political statement, but the colors would also be inappropriate per the color guide.



City of Petersburg  
 Department of Planning and Community Development  
 Zoning Administration  
 135 North Union Street, Room 304  
 Petersburg, Virginia 23803  
 (804) 733-2308

# COA Application

Date: 02/17/2026

## Applicant / Owner

Applicant Name: Diane Curling  
 Address: 116 Liberty Street  
 City, State, Zip: Petersburg, Virginia 23803  
 Phone:   
 Email:

Owner Name: Diane Curling and Ting-Yi Oei  
 Address: same as applicant  
 City, State, Zip: 23803  
 Phone:   
 Email:

## Plans Prepared By

Firm/Contractor: Protect Painters  
 Address: Richmond va

Phone:   
 Email:

## Work to be Performed By

Firm/Contractor: same as above  
 Address:

Phone:  
 Email:

## Project

Address: 116 Liberty Street  
 City, State, Zip: 23803  
 Application For: Application for COA  
 Project Type: Residential

- Category (Check All that Apply)
- Repair
  - Renovation, Restoration
  - Change in Materials
  - Approval of Paint Colors
  - Fencing
  - Signage
  - Addition
  - Driveway, Sidewalk, Parking Lots:
  - New Construction
  - Demolition
  - Plaque
  - Other:

Project Description: Repaint house exterior

I do hereby certify that the information contained herein is true and correct.

\_\_\_\_\_  
 Diane Curling  
 Name

\_\_\_\_\_  
 02/17/2026  
 Date



What can we help you find?

0 - \$0.00

Paints & Supplies Find Color Project Center For Pros Special Offers

Color Purple Paint Colors **SW 9066 Agapanthus**

SW 6813

SW 6814

**SW 9066**

SW 6815

SW 6816

SW 6817

SW 6818

**SAVE**

**SW 9066**

# Agapanthus

**FULL DETAILS**

Sample this color:

**FREE Color Chip**

**Paint Sample**

Or, shop paint:

**Interior Paint**

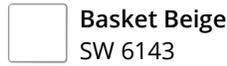
**Exterior Paint**



↕ **UPLOAD A PHOTO**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color sample.

## Coordinating Colors



See Agapanthus work in any room



BEDROOM

LIVING ROOM

KITCHEN

BATHROOM

EXTERIOR

Shared From Real Homes

## More Purple Color Inspiration

Upload your own or share it with us on social media by using **#SWColorLove**.



37





What can we help you find?

0 - \$0.00

Paints & Supplies Find Color Project Center For Pros Special Offers

Color White Paint Colors **SW 7562 Roman Column**

SW 7562

SW 6154

SW 7563

SW 7564

SW 6133

SW 6119

SW 7575

SAVE

SW 7562

# Roman Column

## FULL DETAILS

This classic, bright white with its yellow undertone conjures a light, warm atmosphere. For a pleasant pairing, consider warm neutral trim like Relaxed Khaki.

### Sample this color:

FREE Color Chip

Peel & Stick

Paint Sample

### Or, shop paint:

Interior Paint



↑ **UPLOAD A PHOTO**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color sample.

## Coordinating Colors



Alabaster  
SW 7008



Relaxed Khaki  
SW 6149



Downing Earth  
SW 2820

# See Roman Column work in any room



BEDROOM

LIVING ROOM

KITCHEN

BATHROOM

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## More White Color Inspiration

Upload your own or share it with us on social media by using **#SWColorLove**.



40





What can we help you find?

0 - \$0.00

Paints & Supplies Find Color Project Center For Pros Special Offers

Color Purple Paint Colors **SW 6268 Veiled Violet**

SW 6267

**SW 6268**

SW 6269

SW 9157

SW 6270

SW 6271

SW 6272

**SAVE**

**SW 6268**

# Veiled Violet

## FULL DETAILS

This light muted violet has a charming, relaxing vibe that goes well in a bedroom or bathroom. Pairs harmoniously with a violet-tinged white like Original White.

### Sample this color:

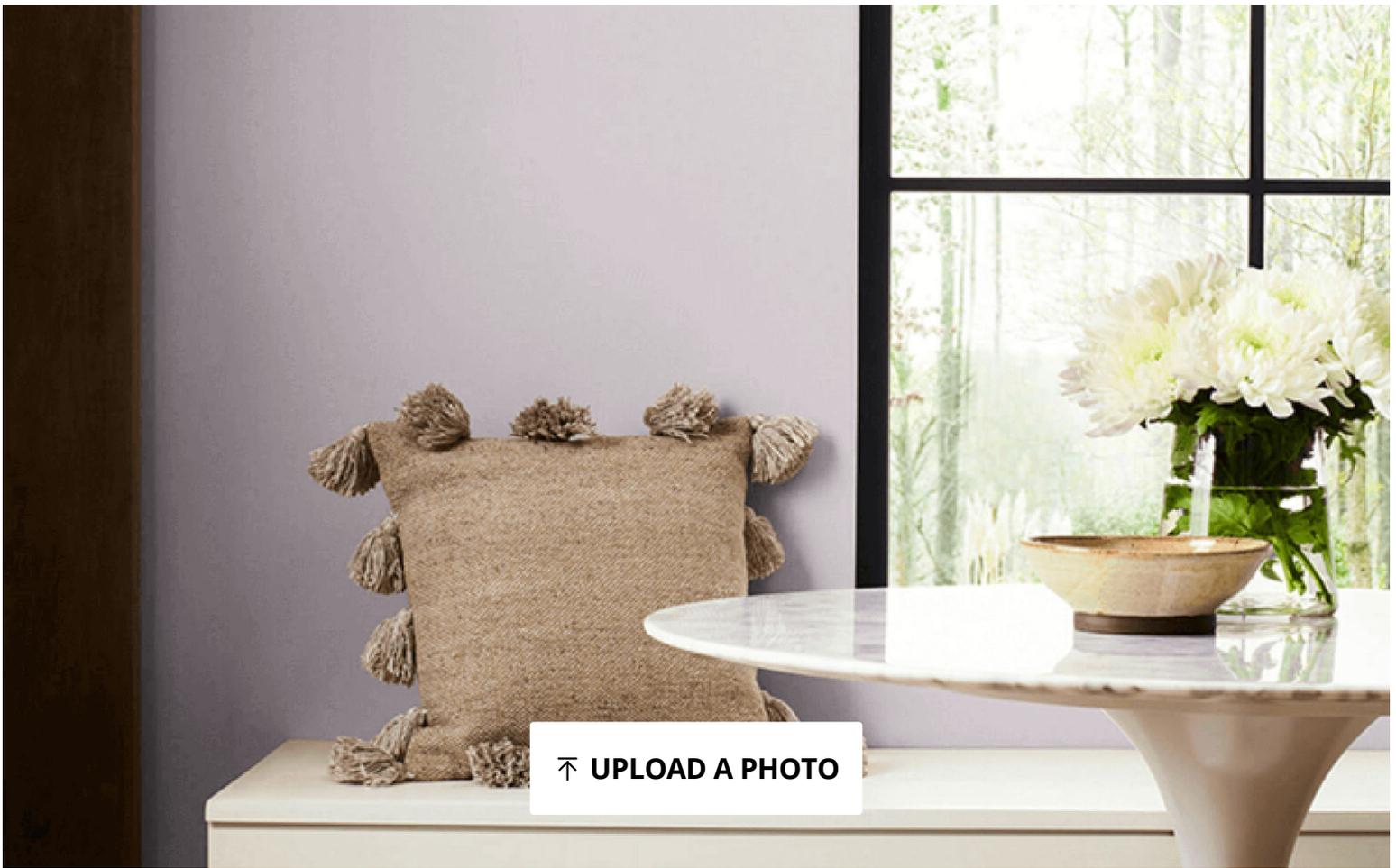
**FREE Color Chip**

**Paint Sample**

### Or, shop paint:

**Interior Paint**

**Exterior Paint**



Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color sample.

### Coordinating Colors



**Original White**  
SW 7077



**Zurich White**  
SW 7626



**Autumn Orchid**  
SW 9157

# See Veiled Violet work in any room



BEDROOM

LIVING ROOM

KITCHEN

BATHROOM

EXTERIOR

Shared From Real Homes

# More Purple Color Inspiration

Upload your own or share it with us on social media by using **#SWColorLove**.



**Magical** SW 6829

@pamelahopedesigns



**Scanda** SW 6529

@leoneinteriordesigns



**Thistle** SW 6283

@jkathrynlott



**Expressive Plum** SW 6271

@carmenshalene

**SEE ALL #SWCOLORLOVE**

## Paint

Staff representatives of the Commission of Architectural Review (CAR) are authorized to assist Old and Historic District property owners in paint color selection and, where appropriate, grant administrative approval for paint color proposals. If you are considering an exterior color change, please call Commission staff at (804) 646-6335.

The chart of paint colors found below represents a palette of paint colors appropriate for use on historic properties. It has been developed to guide property owners and Commission staff in color selection. Not all paint chart colors are appropriate for every historic building. Property owners are strongly encouraged to contact CAR staff in advance of any proposed painting or repainting to ensure that appropriate colors are selected.

Colors not found on the palette must be reviewed by staff on a case-by-case basis. If staff members consider a property owner's preferred colors to be inappropriate, they will forward the proposal to the CAR for full review, noting that administrative approval was not granted.

The color palette is based on Sherwin Williams-brand colors. The Commission does not promote a specific brand of paint, and uses these color codes for reference only. Any paint brand with a comparable paint color may be used.

## Frame Structures

- 1) High quality paint should be used following directions for preparation and application. A paint professional should be consulted before beginning your project.
- 2) It is important that color selections blend with and complement the overall color schemes on the street.
- 3) Fluorescent and obtrusive colors are not appropriate as these were not traditionally used on local historic structures. (The high Victorian "painted ladies" of San Francisco and other western cities represent a phenomenon never adopted in Richmond.)
- 4) Number and variety of colors should be limited. With the notable exception of the Queen Anne style, traditional paint schemes do not use more than two or three colors.
- 5) Individual details in cornices and columns should not be emphasized with additional color.
- 6) The handrails of wooden porch railings are often painted a dark color while the pickets are painted white or off-white.
- 7) Doors and shutters can be painted a different color than the walls and trim.
- 8) Enamel "high gloss" paint should be used only on doors.
- 9) Treating exterior wood elements with clear finishes is not advisable unless the element was historically stained or varnished.
- 10) Stains are a modern method of protecting and/or coloring wood, and are usually not appropriate for use on historic building exteriors. An exception to this guidance is the use of opaque stains on pressure-treated wood elements (for example, at new fire stairs, or at rear or side porches).
- 11) Building materials installed as a result of additions and alterations should be painted to match or complement a building's existing colors.

## Historic Masonry

- 1) Do not paint historic brick or stone masonry that has not previously been painted. Painting previously unpainted masonry is historically inaccurate and is not permitted. Property owners who wish to remove paint from masonry should work with a qualified contractor knowledgeable in the use of non-abrasive cleaners.
- 2) Review is required if you wish to change the color of painted brick. If you wish to paint previously painted brick the same color, no review by staff or the CAR is necessary.
- 3) Colors associated with the colors of natural brick are strongly encouraged and are preferable to less appropriate colors (white, green, blue, etc.).

**Commission staff must approve any new paint colors before work can begin.**

Colors appearing on computer screens or printed on standard printers may distort the values of colors. It is best to refer to the color swatches available at any home improvement store. Information on the color's name, and number can be found on the following page. The Commission does not endorse specific paint brands. Sherwin Williams paint names and codes are provided for reference only.

# Exterior Paint Color Selection Chart

The paint chart below is provided with the goal of streamlining paint discussions between property owners, architects / contractors, and City of Richmond staff. The colors are arranged by location on the building, with a full list (name, number, and example) provided at the end of this section.

The following color selections generally correspond to the recommendations by the City of Richmond’s Commission of Architectural Review (CAR). This document is intended to be a guide and, as such, can be expanded or contracted as CAR staff and commissioners find appropriate.

Colors are for previously painted surfaces only. Existing unpainted brick and stone must remain unpainted per the Secretary of the Interior’s *Standards for Rehabilitation*. Exterior paint sheens should be semi-gloss.

Element	Color	Notes
<b>Wood-frame Buildings (including Stucco-clad buildings) 18C, Georgian, Federal, and Greek Revival styles</b>		
Body	white, Spanish brown, yellow ochre, stone, buff, light grey, green-grey, medium blue,	
Trim	green, light yellow, white, straw, cream, black, dark brown, dark grey, dark green, dark brown	
<b>Wood-frame Buildings (including Stucco-clad buildings) Italianate, Second Empire, and Queen Anne styles</b>		
Body	Deep blue, medium grey, dark ochre, tan, slate,	
Trim	Golden yellow, dark grey, green-black, tan, deep red, olive green	
<b>Wood-frame Buildings (including Stucco-clad buildings) Arts and Crafts style</b>		
Body	Off-white, light yellow, light blue, medium blue, light olive, light grey	
Trim	White, off-white, light yellow, light grey, deep red, deep green	

Element	Color	Notes
<b>Wood-frame Buildings (including Stucco-clad buildings)</b>		
<b>Colonial Revival style</b>		
Body	White, beige, pale green, medium grey, medium blue	
Trim	Green, white, yellow	
<b>Masonry Buildings (previously painted only)</b>		
<b>All styles</b>		
Body Color - Brick	Reds, browns, yellow-clay	Previously-painted brick only. Match original brick color when possible.
Body Color - Stone	Browns	Previously-painted stone only. Match original stone color when possible.
Wood Trim	See style chart for appropriate trim color	
Lintels	Natural stone or brick colors, as body colors above.	Previously-painted stone only. Match original stone lintel color. Previously-painted brick lintels are to be painted the body brick color.
Headers	Natural stone or brick colors, as body colors above.	Previously-painted stone only. Match original stone color. Previously-painted brick lintels are to be painted the body brick color. Unless the lintel is stone, do not pick out the lintel in a contrasting color.
<b>Colors appropriate for all buildings</b>		
Window Sashes	Whites, Blacks, Neutrals	May match trim color or may be contrasting.
Sills	Neutrals	Painted stone only. Match original stone color.
Shutters	Blacks, Greens	
Doors	Blacks, Browns, Greens, Reds, Yellows, Neutrals	Painted wood only. Stained wood doors must remain stained and may not be painted.
Porch Ceilings	Blues	
Porch Floors	Neutrals	Use non-slip texture for foot traffic.
Metal Elements	Blacks, Greens	May also be used for wood top hand rail.
Metal Roofs	Blacks, Greens, Reds	May also match an existing gray, but not "silver" paint.
Wood Fences	Whites, Dark Browns, Gray	Whites and opaque neutral stains.

# 18th Century, Georgian, Federal, and Greek Revival Styles

## Wood-frame Buildings (including Stucco-clad Buildings)

### Body Color



### Wood Trim



## Masonry Buildings

### Body Color – Brick (previously painted only) – Reds and Yellow-Clay – all styles



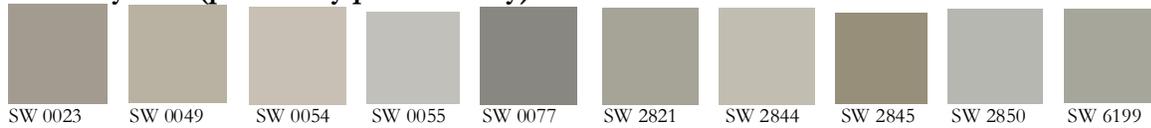
### Body Color – Stone (previously painted only) – Browns and Grays – all styles



### Masonry Lintels (previously painted only) - Neutrals

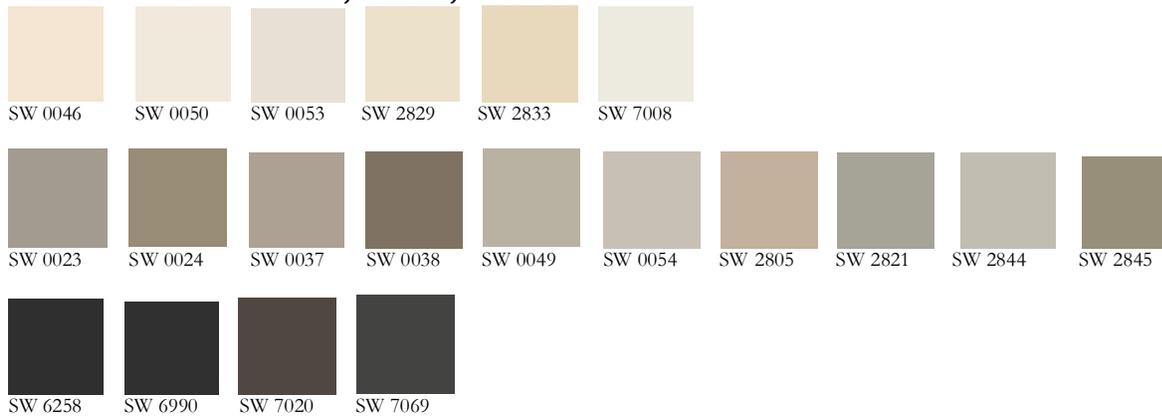


### Masonry Sills (previously painted only) – Neutrals

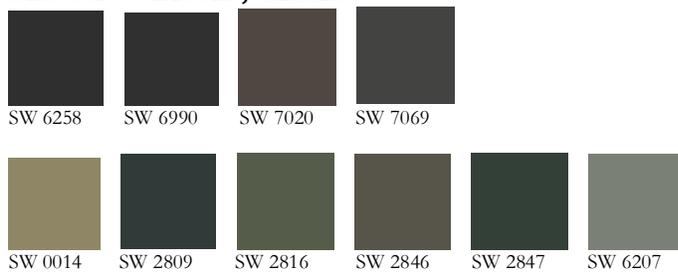


### Wood-frame and Masonry Buildings

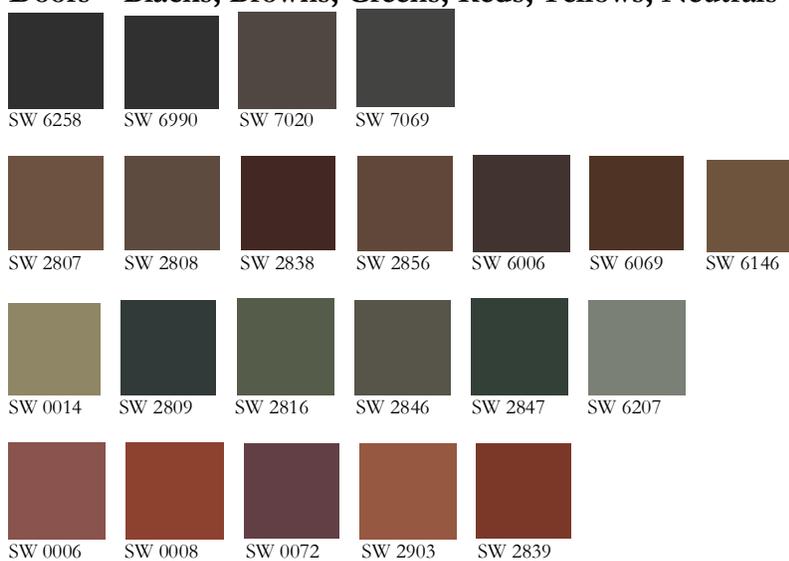
#### Window Sashes – Whites, Blacks, Neutrals



#### Shutters – Blacks, Greens



#### Doors – Blacks, Browns, Greens, Reds, Yellows, Neutrals





**Porch Ceilings - Blues**



**Porch Floors – Neutrals**



**Metal Elements – Blacks, Greens**



**Metal Roofs – Blacks, Greens, Reds**



**Wood Fences – Whites and opaque neutral stains**



# Italianate, Second Empire, and Queen Anne Styles

## Wood-frame Buildings (including Stucco-clad Buildings)

### Body Color



### Wood Trim



### Masonry Buildings

#### Body Color – Brick (previously painted only) – Reds and Yellow-Clay – all styles



**Body Color – Stone (previously painted only) – Browns and Grays – all styles**



**Masonry Lintels (previously painted only) - Neutrals**



**Masonry Sills (previously painted only) – Neutrals**



**Wood-frame and Masonry Buildings**

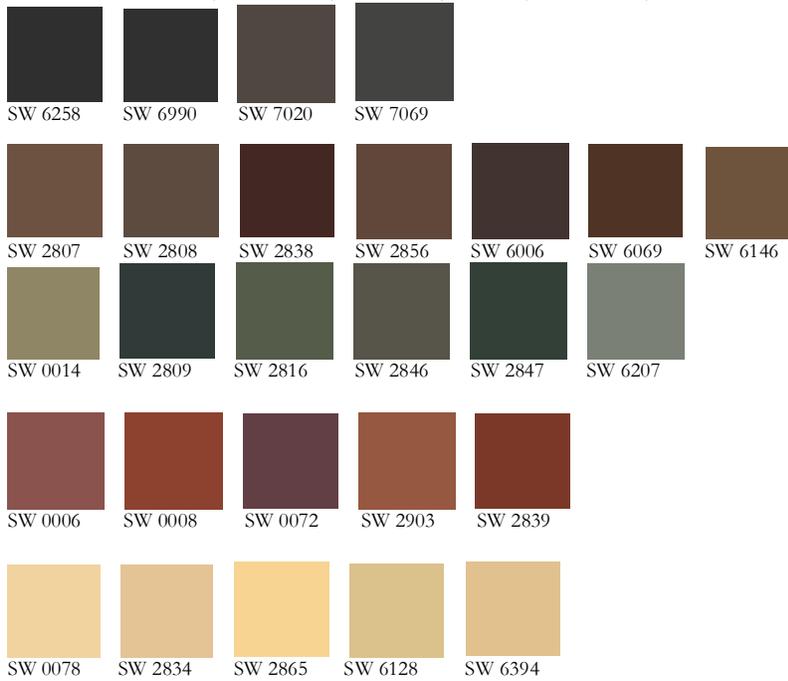
**Window Sashes – Whites, Blacks, Neutrals**



**Shutters – Blacks, Greens**



**Doors – Blacks, Browns, Greens, Reds, Yellows, Neutrals**



**Porch Ceilings - Blues**



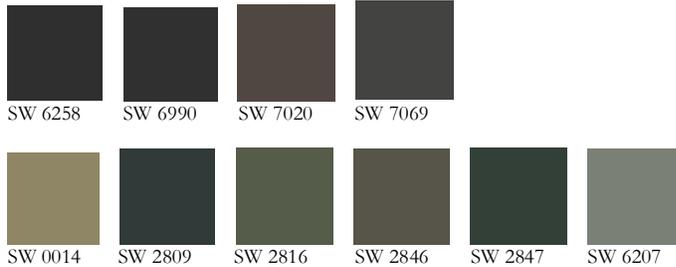
**Porch Floors – Neutrals**



**Metal Elements – Blacks, Greens**

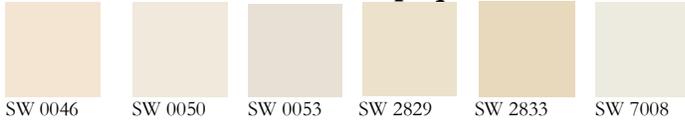


**Metal Roofs – Blacks, Greens, Reds**





**Wood Fences – Whites and opaque neutral stains**



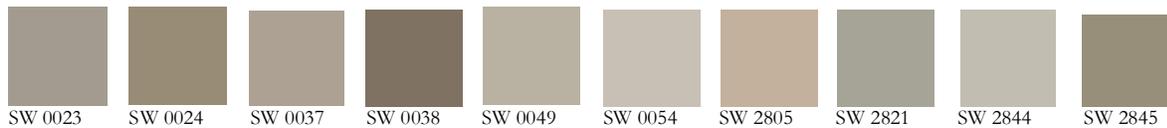
## Arts and Crafts Style

### Wood-frame Buildings (including Stucco-clad Buildings)

#### Body Color



#### Wood Trim



### Masonry Buildings

#### Body Color – Brick (previously painted only) – Reds and Yellow-Clay – all styles



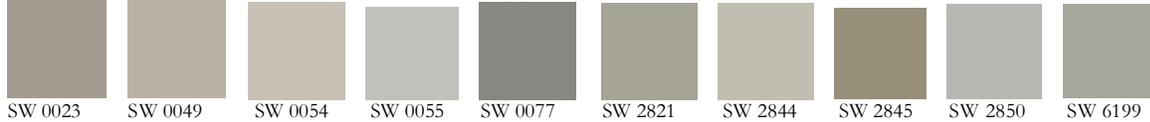
#### Body Color – Stone (previously painted only) – Browns and Grays – all styles



**Masonry Lintels (previously painted only) - Neutrals**



**Masonry Sills (previously painted only) - Neutrals**



**Wood-frame and Masonry Buildings**

**Window Sashes – Whites, Blacks, Neutrals**



**Shutters – Blacks, Greens**



**Doors – Blacks, Browns, Greens, Reds, Yellows, Neutrals**





SW 0014 SW 2809 SW 2816 SW 2846 SW 2847 SW 6207



SW 0006 SW 0008 SW 0072 SW 2903 SW 2839



SW 0078 SW 2834 SW 2865 SW 6128 SW 6394

**Porch Ceilings - Blues**



SW 0052 SW 0059 SW 0068 SW 6477 SW 6478

**Porch Floors – Neutrals**



SW 0023 SW 0024 SW 0037 SW 0038 SW 0049 SW 0054 SW 2805 SW 2821 SW 2844 SW 2845

**Metal Elements – Blacks, Greens**



SW 6258 SW 6990 SW 7020 SW 7069

**Metal Roofs – Blacks, Greens, Reds**



SW 6258 SW 6990 SW 7020 SW 7069



SW 0014 SW 2809 SW 2816 SW 2846 SW 2847 SW 6207



SW 0006 SW 0008 SW 0072 SW 2903 SW 2839

**Wood Fences – Whites and opaque neutral stains**



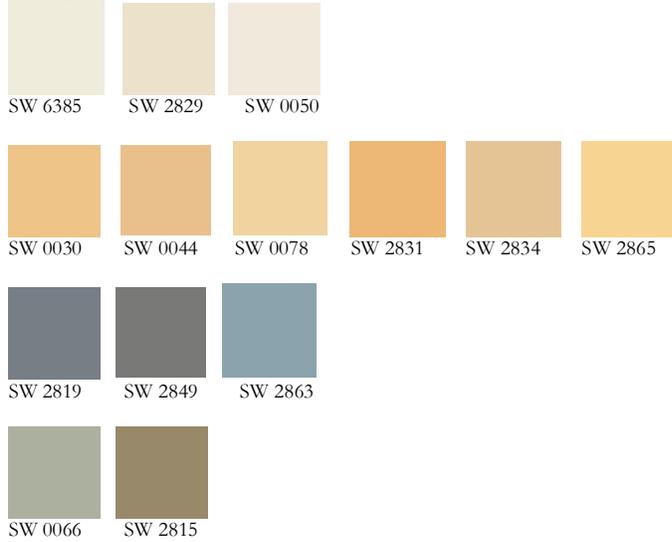
SW 0046 SW 0050 SW 0053 SW 2829 SW 2833 SW 7008



# Colonial Revival Style

## Wood-frame Buildings (including Stucco-clad Buildings)

### Body Color



### Wood Trim



## Masonry Buildings

### Body Color – Brick (previously painted only) – Reds and Yellow-Clay – all styles



**Body Color – Stone (previously painted only) – Browns and Grays – all styles**



**Masonry Lintels (previously painted only) - Neutrals**



**Masonry Sills (previously painted only) – Neutrals**



**Wood-frame and Masonry Buildings**

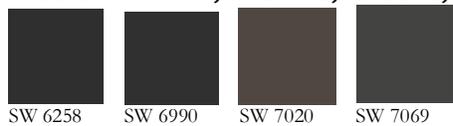
**Window Sashes – Whites, Blacks, Neutrals**



**Shutters – Blacks, Greens**



**Doors – Blacks, Browns, Greens, Reds, Yellows, Neutrals**





**Porch Ceilings - Blues**



**Porch Floors – Neutrals**



**Metal Elements – Blacks, Greens**



**Metal Roofs – Blacks, Greens, Reds**



## Wood Fences – Whites and opaque neutral stains



## List of All Colors:

### Whites

White Hyacinth SW 0046  
Classic Light Buff SW 0050  
Porcelain SW 0053  
Classical White SW 2829  
Roycroft Vellum SW 2833  
Alabaster SW 7008

### Blacks

Tricorn Black SW 6258  
Caviar SW 6990  
Black Fox SW 7020  
Iron Ore SW 7069

### Browns

Rookwood Med Brown SW 2807  
Rookwood Dark Brown SW 2808  
Polished Mahogany SW 2838  
Fairfax Brown SW 2856  
Black Bean SW 6006  
French Roast SW 6069  
Umber SW 6146

### Greens

Sheraton Sage SW 0014  
Rookwood Shutter Grn SW 2809  
Rookwood Dark Green SW 2816  
Roycroft Bronze Green SW 2846  
Roycroft Bottle Green SW 2847  
Retreat SW 6207

### Reds

Toile Red SW 0006  
Cajun Red SW 0008  
Deep Maroon SW 0072  
Rookwood Terra Cotta SW 2903  
Roycroft Copper Red SW 2839

### Yellows

Sunbeam Yellow SW 0078  
Birdseye Maple SW 2834  
Classical Yellow SW 2865  
Blonde SW 6128  
Sequin SW 6394

### Blues

Pearl Gray SW 0052  
Frostwork SW 0059  
Copen Blue SW 0068  
Naval SW 6244  
Tidewater SW 6477  
Watery SW 6478  
In the Navy SW 9178  
Anchors Aweigh SW 9179

### Neutrals

Pewter Tankard SW 0023  
Curio Gray SW 0024  
Morris Room Grey SW 0037  
Library Pewter SW 0038  
Silver Gray SW 0049  
Twilight Gray SW 0054  
Light French Gray SW 0055  
Classic French Gray SW 0077  
Renwick Beige SW 2805  
Downing Stone SW 2821  
Downing Sand SW 2822  
Roycroft Mist Gray SW 2844  
Bunglehouse Gray SW 2845  
Chelsea Gray SW 2850  
Sawdust SW 6158  
Rare Fray SW 6199  
Accessible Beige SW 7036



**6e. 305-307 North West Street**

**Historic District:** Battersea/West High Street

**Review Date:** March 11, 2026

**Tax Parcel #:** 024-12-0034

**Applicant:** William Fitzhugh

**City of Petersburg  
Architectural Review Board  
Staff Report**



**Project Description:** Repair and renovate existing structure.

**Applicant proposal:**

The applicant is the following work is proposed:

- Regrade yard to address drainage issues
- Re-point, repair, and/or reconstruct masonry foundation wall and chimney, if needed, reusing brick where possible
- Restore/replace wood siding and finish elements
- Repair/replace porch columns in-kind
- Replace existing standing seam metal roof with ridge vent in-kind
- Repair soffits and replace existing soffits boards as required, matching original
- Repair and restore existing windows

**Attachments:**

Application, Restoration Plans



**Staff Recommendation:**

**Approval based on the Design Guidelines Chapters 4 and 5**

According to the reconnaissance-level survey for the property, both the site and the structure are in poor condition. The dwelling, built ca. 1900, needs serious repairs and rehabilitation. The survey notes the windows, siding, and roof as features that have degraded.

The proposed scope of work includes analysis of the existing conditions of the building elements, which will be repaired where possible. Replacement in-kind is proposed where repair is not possible and the plans indicate original materials will be reused where feasible. The proposed regrading and work on the structural integrity of the building will prevent further degradation and extend the life of the historic structure which contributes to the character of the Battersea/West High Street Historic District.

The full plans with scope of work is included as an attachment to this report.



City of Petersburg - Architectural Review Board  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: 305 N West St.  
Historic District: Battersea

Application for COA       Application for Historic Building Plaque       Application for Discussion

Applicant: William G. Fitzhugh  
Address: 3816 W Old Gun Rd Middleham VA 23113  
Owner: Petersburg Revival LLC  
Address: 3816 W Old Gun Rd Middleham VA 23113  
Firm/Contractor Preparing Plans: Full Circle Studio  
Address: 11678 Pine Needles Dr Providence Forge VA 23140  
Firm/Contractor to Perform Work: Bellona Arsenal Farm  
Address: 3816 W Old Gun Rd Middleham VA 23113

E-Mail: [Redacted]  
Phone: [Redacted]  
E-Mail: [Redacted]  
Phone: [Redacted]  
E-Mail: [Redacted]  
Phone: [Redacted]  
E-Mail: [Redacted]  
Phone: [Redacted]

Type of Project:  Residential       Commercial  
Category:  Repair       Renovation, Restoration       Change in materials       Approval of paint colors       Fencing       Signage  
 Addition       Driveway, sidewalk, parking lots       New construction       Demolition       Plaque       Other:

Project Description (attached additional sheets as needed):  
*Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.*

total renovation

[Signature]  
Applicant's Signature  
2-25-26  
Date

FOR OFFICE USE  
Date received: \_\_\_\_\_ Agenda date: \_\_\_\_\_  
Tax Parcel: \_\_\_\_\_ Zoning: \_\_\_\_\_  
Additional permits needed from planning: \_\_\_\_\_

**\*A complete application must be received at least 15 days prior to a regular Architectural Review Board meeting to be heard at that meeting.**

# 305 - 307 NORTH WEST STREET

PETERSBURG, VIRGINIA  
ARB SUBMISSION

**FULL CIRCLE  
STUDIO**  
SUSTAINABLE ARCHITECTURE PLANNING &  
INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

## ABBREVIATIONS

ACT	ACCOUSTICAL CEILING TILE	FRP	FIBERGLASS REINFORCED POLYESTER	PERIM	PERIMETER
ADA	AMERICANS WITH DISABILITIES ACT	FD	FLOOR PANELS	PLAM	PLASTIC LAMINATE
ADJ	ADJUST, ADJUSTABLE	FD	FLOOR DRAIN	PLYWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	FR	FRESH	PME	PLUMBING/MECHANICAL/ ELECTRICAL
ALT	ALTERNATE	FLR	FLOOR	PREFAB	PREFABRICATED
ALUM	ALUMINUM	FT	FEET	PSI	POUNDS PER SQUARE INCH
ANSI	AMERICAN NAT'L STANDARDS INST.	FTG	FOOTING	PT	PRESSURE TREATED WOOD
APPROX	APPROXIMATE	GA	GUAGE	PHI	PAINT
AWI	ARCHITECTURAL WOODWORK INST.	GLV	GLASS	PVC	POLYVINYL CHLORIDE
AUJ	AUTHORITY HAVING JURISDICTION	GC	GENERAL CONTRACTOR	QT	QUARRY TILE
BDM	BITUMINOUS	GPBW	GYPSUM WALL BOARD	QTY	QUANTITY
BLDG	BUILDING	HORIZ	HORIZONTAL	RB	RUBBER WALL BASE
BOT	BOTTOM	HT	HEIGHT	REINFD	REINFORCED
BTU	BRITISH THERMAL UNIT	HM	HOLLOW METAL	RQD	REQUIRED
CL	CENTERLINE	HVAC	HEATING, VENTILATING & AIR CONDITIONING	R.O.	ROUGH OPENING
CLG	CEILING	IBC	INTERNATIONAL BUILDING CODE	SF	SQUARE FEET
CLR	CLEAR	IN	INCH	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	INCL	INCLUDE	SIM	SIMILAR
COL	COLUMN	INSUL	INSULATION	SPEC	SPECIFICATION
CONC	CONCRETE	INT	INTERIOR	SQ	SQUARE
CONT	CONTINUOUS	IRC	INTERNATIONAL RESIDENTIAL CODE	STC	SOUND TRANSMISSION CLASS
CPT	CARPET	JC	JANITOR'S CLOSET	STD	STANDARD
CTR	CENTER	M-HAM	TRUS JOIST	STR	STRUCTURAL
DEMO	DEMOLISH	MAX	MAXIMUM	T&G	TONGUE & GROOVE
DA	DIAMETER	MECH	MECHANICAL	TECA	TILE COUNCIL OF AMERICA
DMA	DIMENSION	MFR	MANUFACTURER	TJ	TRUS JOIST
DV	DIVISION	M.O.	MASONRY OPENING	TPT	TREATED
DN	DOWN	MEL	METAL	TYP	TYPICAL
DTL	DETAIL	N/A	NOT APPLICABLE	UL	UNDERWRITERS' LABORATORY
DWGS	DRAWINGS	N/C	NOT IN CONTRACT	U.N.C.	UNLESS NOTED OTHERWISE
EA	EACH	NO	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
ELEC	ELECTRICAL	NS	NOT TO SCALE	VERT	VERTICAL
ELEV	ELEVATION	ON	ON CENTER	VUSBC	VIRGINIA UNIFORM STATEWIDE BUILDING CODE
EQ	EQUAL	O.H.	OPPOSITE HAND	W/	WITH
EQUIP	EQUIPMENT			W/IN	WITHIN
EXIST	EXISTING			WO/UT	WITHOUT
EXP	EXPANSION			WD	WOOD
EXT	EXTERIOR				

## VICINITY MAP

## PROJECT DESCRIPTION

THIS PROJECT IS A RESTORATION OF A HISTORIC STRUCTURE. THE DUPLEX HOME WILL RECEIVE ALL NEW MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS TO BE DESIGN BUILT BY THE CONTRACTOR. FULL CIRCLE STUDIO HAS NOT PREPARED OR REVIEWED ANY DRAWINGS FOR THAT WORK, AND TAKE NO RESPONSIBILITY FOR THAT DESIGN.

## DRAWING INDEX

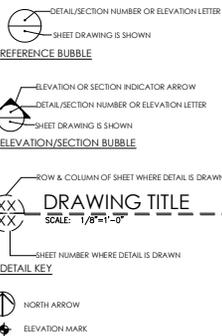
CS	COVER SHEET
A1	REPAIR PLANS & REPAIR NOTES
A2	ELEVATIONS
A3	NEW PLANS
A4	NEW ELEVATIONS

All ideas, designs, arrangements and plans indicated or represented by this drawing are property of FULL CIRCLE STUDIO, created, evolved and developed for the sole use of this project. These ideas, design arrangements and/or plans shall not be used by or disclosed to any person, firm or corporation for any purpose without written permission from FULL CIRCLE STUDIO. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. The architect must be notified of any variations from the dimensions and conditions shown on these drawings.  
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## ARB SUBMISSION

NO. REVISIONS DATE

## SYMBOL LEGEND



## PROJECT INFORMATION

APPLICABLE CODE	2021 VUSBC (2018 IBC)
HEIGHT	EXISTING
CONSTRUCTION TYPE	V-B
AREA	3,204 SQ.FT
USE	R5 RESIDENCE
CITY ZONING	R-3

<b>CLIENT:</b>	PETERSBURG REVIVAL 3816 Old Gun Road Midlothian, Virginia 23133
<b>ARCHITECT:</b>	FULL CIRCLE STUDIO 11678 Pine Needles Drive Providence Forge, Virginia 23140
<b>CONTACT:</b>	Sarah Grier Barber, AIA LEED AP

## RESIDENCE

Address:  
305 - 307 North West Street  
Petersburg, Virginia

COVER SHEET

ARCHITECT'S PROJECT NO. 226-02

SHEET

CS

DATE FEBRUARY 25, 2024

**FLOOR PLAN GENERAL REPAIR NOTES**

**MASONRY**

- EVALUATE ENTIRE MASONRY FOUNDATION. MAKE REPAIRS AS REQUIRED TO PROVIDE STRUCTURALLY SOUND BEARING CONDITIONS AT ALL EXISTING BEARING LOCATIONS.
- DEMOLISH CMU FOUNDATION INFILL. PROVIDE BRICK INFILL INSET 1'.
- EVALUATE CHIMNEY POINT UP. MAKE REPAIRS AS REQUIRED. AND CAP.

**STRUCTURAL FRAMING**

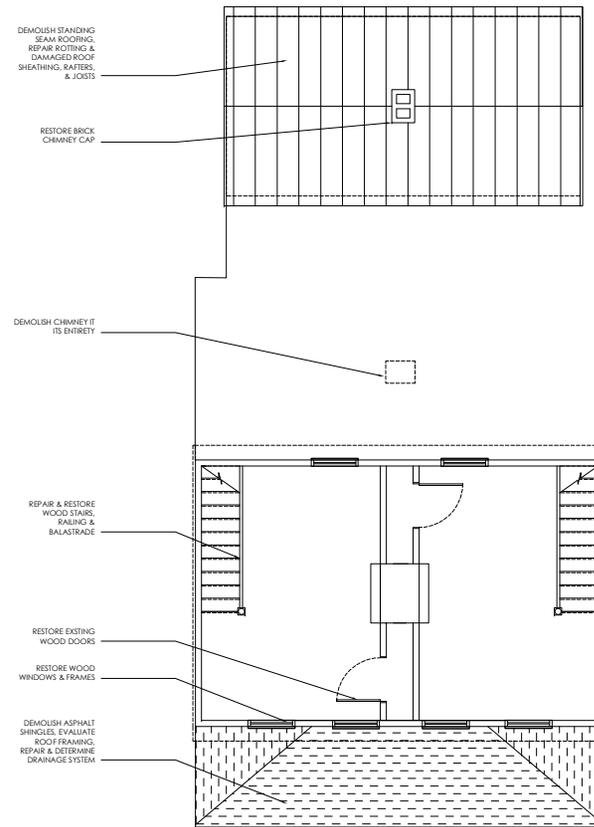
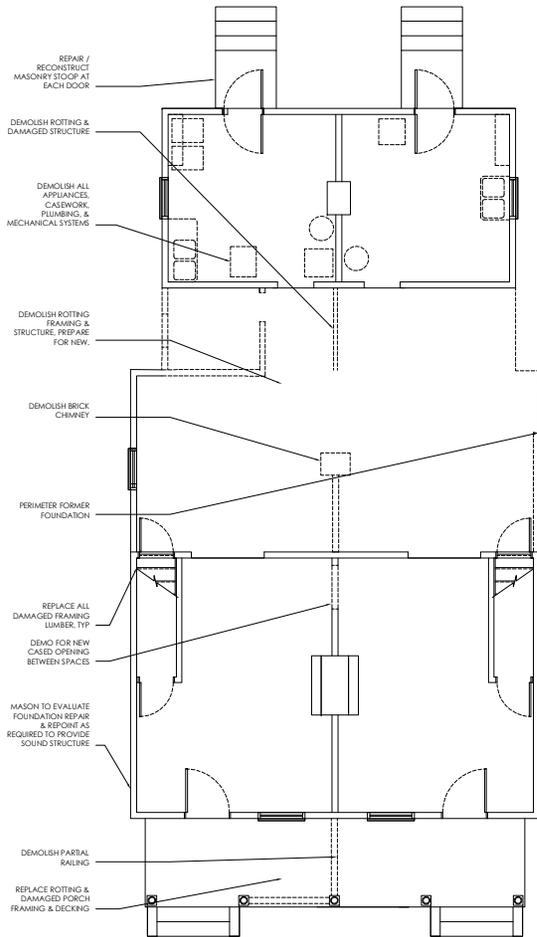
- EVALUATE FRAMING AT LOCATIONS WITH FIRE DAMAGE, WEATHERING AND WATER DAMAGE. IF REQUIRED REPLACE FRAMING WITH APPROPRIATELY SIZED MEMBERS. SUPPORT AND BRACE STRUCTURE AS REQUIRED TO MAKE REPAIRS.
- EVALUATE FLOOR FRAMING. SISTER NEW FLOOR JOISTS ADJACENT TO EXISTING JOISTS AT 16" O.C. AS REQUIRED.

**INTERIOR FINISHES**

- REPAIR AND PATCH EXISTING WOOD FLOORING. REFRESH EXISTING WOOD FLOORS BY LIGHTLY SANDING AND APPLYING THREE SATIN POLYURETHANE COATS. ALLOW EACH COAT TO DRY THOROUGHLY AND SCREEN FLOORING BETWEEN COATS.
- AT CENTER PORTION OF STRUCTURE, INCLUDING BATHROOMS, RECONSTRUCT FLOOR STRUCTURE. DETERMINE

**ORIGINAL FINISH FLOOR MATERIALS.**

- RETAIN EXISTING PLASTER THROUGHOUT THE STRUCTURE. REMOVE AS LITTLE PLASTER AS REQUIRED TO INSTALL NEW BUILDING STRUCTURE AND MECHANICAL SYSTEMS. PATCH ALL CRACKS AND LOOSE AREAS OF PLASTER AND SKIM COAT TO PRODUCE SMOOTH AND FLUSH SURFACES. USE MESH TAPE, MESH FABRIC, AND PLASTER WASHERS AS REQUIRED TO STABILIZE WALLS. REMOVE MOLD AND TREAT SURFACES TO KILL MOLD SPORES.
- PATCH EXISTING PLASTER ON FIREPLACES, WALLS, AND CEILINGS AS REQUIRED.
- WALLS WHERE PLASTER HAS BEEN DEMOLISHED AND / OR REMOVED IN ITS ENTIRETY SHALL RECEIVE NEW 1/2" GYPSUM.
- WOOD TRIM AT NEW OPENINGS SHALL BE SIMPLE AND CONTEMPORARY TRIM, AND SHALL NOT TRY TO EMULATE EXISTING HISTORIC FEATURES FOUND IN THIS STRUCTURE.
- SCRAPE, SAND, PRIME AND PAINT ALL INTERIOR WOOD TRIM SURFACES.



**2 SECOND FLOOR**  
SCALE: 1/4"=1'-0"

1st FLOOR	655 GSF (EA UNIT)	1,310 GSF
2nd FLOOR	258 GSF (EA UNIT)	516 GSF
TOTAL	913 GSF (EA UNIT)	1,826 GSF

**1 FIRST FLOOR**  
SCALE: 1/4"=1'-0"

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NO.	REVISIONS	DATE
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**RESIDENCE**  
Address:  
305 - 307 North West Street  
Petersburg, Virginia

**REPAIR PLANS & NOTES**

ARCHITECT'S PROJECT NO. 225-02

SHEET

**A1**

DATE FEBRUARY 25, 2026

**ELEVATION GENERAL REPAIR NOTES**

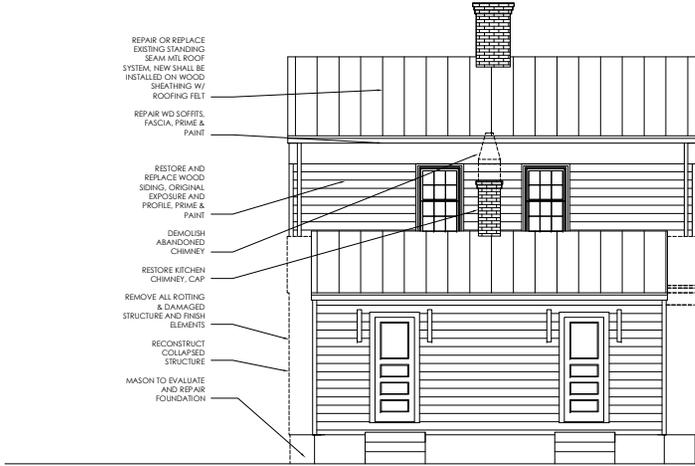
- MASONRY**
1. REGRADE YARDS SO THAT WATER DRAINS AWAY FROM STRUCTURE.
  2. REPOINT, REPAIR, AND / OR RECONSTRUCT MASONRY FOUNDATION WALL WHERE REQUIRED TO STABILIZE STRUCTURE.
  3. AT RECONSTRUCTED MASONRY FOUNDATION WALLS INSTALL FOOTING AND BRICK FOUNDATION WALL WITH CMU BACKUP.
- STRUCTURAL FRAMING**
5. EVALUATE & REPLACE DAMAGED EXISTING WOOD FRAMING SILL WITH NEW P.T. TIMBER SILL TO MATCH EXISTING DIMENSIONS.
  6. AT EXISTING EXTERIOR WALL CONSTRUCTION WERE DAMAGED FROM WEATHERING REPLACE ROTTEN
- WALL FRAMING:** MATCH EXISTING WALL FRAMING SPACING AND THICKNESS. INSTALL MIN 8-13 INSULATION WITH VAPOR BARRIER. INSTALL NEW 1/2" DRYWALL ON INTERIOR. INSTALL WOOD SIDING TO MATCH ORIGINAL. OVERLAP AND EXTEND SIDING INTO ADJACENT ORIGINAL SIDING TO CONCEAL PATCHED AREA. REUSE SOUND NOT ROTTEN SIDING WHERE POSSIBLE.
7. REPAIR, REPOINT, AND INSTALL EXISTING PORCH COLUMNS. NEW COLUMNS TO MATCH ORIGINAL TURNINGS, PAINT.
- EXTERIOR FINISH SYSTEMS**
8. REPLACE EXISTING STANDING SEAM METAL ROOFING IN KIND. RIDGE VENT AND EAVE VENTING TO PROVIDE PROPER VENTILATION AT EXISTING ROVES.
  9. REPAIR EXISTING SOFFITS. REMOVE EXISTING SOFFIT BOARDS AND REPAIR EXISTING FRAMING. REPLACE SOFFIT BOARDS AND WOOD BRACKETS AS REQUIRED. MATCH ORIGINAL SIZE, SHAPE, AND CONFIGURATION.
  10. AT PORCH PROVIDE T&G BEADED CEILING BOARDS.

11. SCRAPE EXISTING SIDING AND TRIM, AND SAND BY HAND. REMOVE ALL LOOSE PAINT. COMPLY WITH ALL REGULATIONS CONCERNING PAINT REMOVAL. REPLACE ROTTEN OR BROKEN SIDING TO MATCH ORIGINAL.
12. PRIME SIDING WITH AN OIL BASED PRIMER AND INSTALL TWO COATS OF FINISH PAINT. USE SHERWIN WILLIAMS DURATION PAINT SYSTEM.
13. RESTORE ALL EXISTING WINDOWS. REMOVE SASHES, STRIP PAINT, REGLAZE PANE, PRIME SASHES, AND APPLY TWO COATS OF FINISH PAINT. REPAIR FRAMES BY INSTALLING WOOD DUTCHMEN AND USING EPOXY WOOD FILLERS ON ALL ROTTEN AREAS. REMOVE ALL ROTTEN WOOD PRIOR TO REPAIRS. STRIP PAINT AT FRAMES. PRIME AND APPLY TWO FINISH COATS. USE TOP QUALITY BENJAMIN MOORE PRODUCTS.

**FULL CIRCLE STUDIO**  
SUSTAINABLE ARCHITECTURE PLANNING & INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

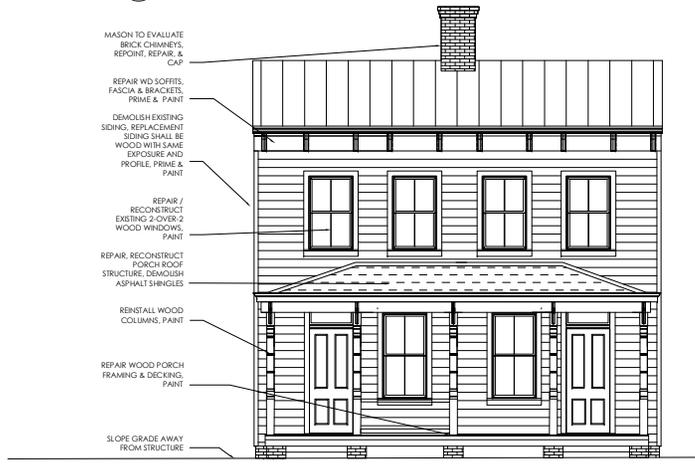
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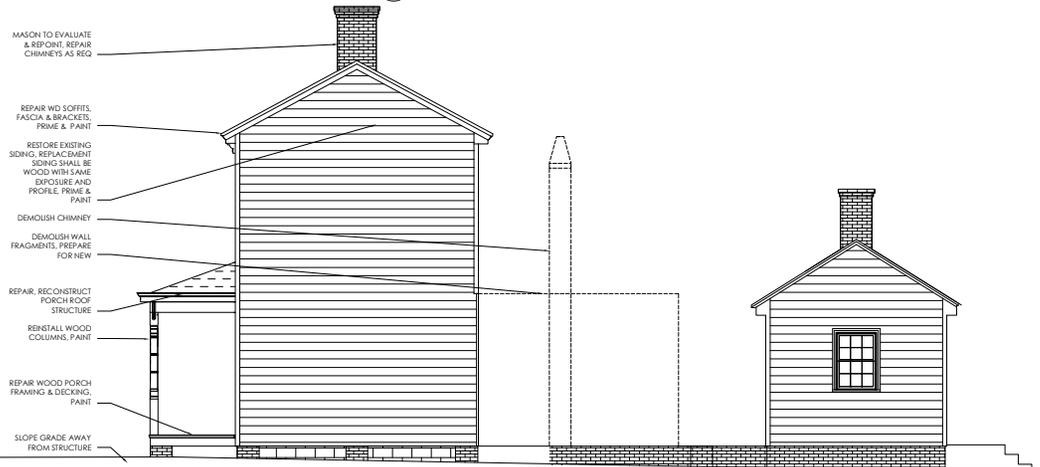
**4 EAST ELEVATION**  
SCALE: 1/4"=1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

NO.	REVISIONS	DATE
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**RESIDENCE**  
Address:  
305 - 307 North West Street  
Petersburg, Virginia

REPAIR ELEVATIONS & NOTES

ARCHITECT'S PROJECT NO. 225-02

SHEET

**A2**

DATE FEBRUARY 25, 2026

# FULL CIRCLE STUDIO

SUSTAINABLE ARCHITECTURE PLANNING & INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

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NO.	REVISIONS	DATE
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**RESIDENCE**  
Address:  
305 - 307 North West Street  
Petersburg, Virginia

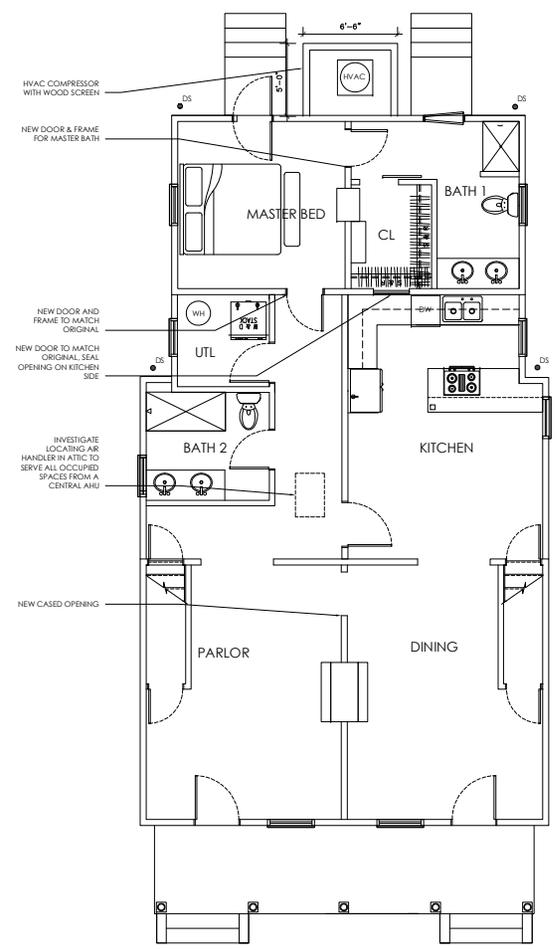
NEW WORK PLANS

ARCHITECT'S PROJECT NO. 225-02

SHEET

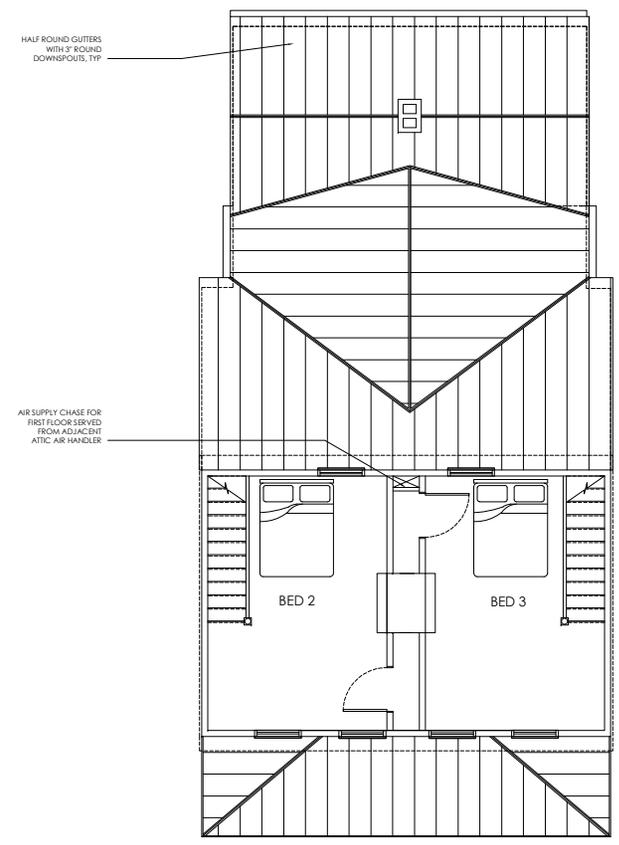
**A3**

DATE FEBRUARY 25, 2024



3 SECOND FLOOR  
A1 SCALE: 1/4"=1'-0"

1st FLOOR	655 GSF (EA UNIT)	1,310 GSF
2nd FLOOR	298 GSF (EA UNIT)	596 GSF
TOTAL	953 GSF (EA UNIT)	1,906 GSF



2 FIRST FLOOR  
A1 SCALE: 1/4"=1'-0"

Series: 2/25/2024 10:19:07 AM

**ELEVATION GENERAL REPAIR NOTES**

**MASONRY**

1. REGRADE YARDS SO THAT WATER DRAINS AWAY FROM HOUSE.
2. REPOINT, REPAIR, AND / OR RECONSTRUCT MASONRY FOUNDATION WALL WHERE REQUIRED TO STABILIZE STRUCTURE.
3. AT RECONSTRUCTED MASONRY FOUNDATION WALLS INSTALL FOOTING AND BRICK FOUNDATION WALL WITH CHALK BACKUP.
4. REUSE EXISTING BRICK AT REPAIRS TO EXISTING MASONRY WHERE PRACTICAL.

5. EVALUATE & REPLACE DAMAGED EXISTING WOOD FRAMING SILL WITH NEW P.T. TIMBER SILL TO MATCH EXISTING DIMENSIONS.
6. AT EXISTING EXTERIOR WALL CONSTRUCTION WERE DAMAGED FROM WEATHERING REPLACE ROTTEN WALL FRAMING. MATCH EXISTING WALL FRAMING SPACING AND THICKNESS. INSTALL MIN R-13 INSULATION WITH VAPOR BARRIER. INSTALL NEW 1/2" DRYWALL ON INTERIOR. INSTALL WOOD SIDING TO MATCH ORIGINAL. OVERLAP AND EXTEND SIDING INTO ADJACENT ORIGINAL SIDING TO CONCEAL PATCHED AREA. REUSE SOUND ROT FREE EXISTING SIDING WHERE POSSIBLE.
7. REPAIR AND REPLACE EXISTING COLUMNS AS NEEDED.

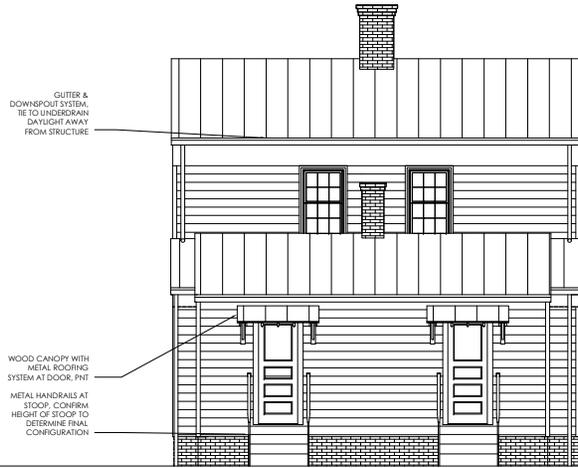
8. REPLACE EXISTING STANDING SEAM METAL ROOFING IN KIND. PROVIDE RIDGE VENT OR EAVE VENT TO PROVIDE PROPER VENTILATION AT EXISTING ROVES.
9. REPAIR EXISTING SOFFITS. REMOVE EXISTING SOFFIT BOARDS AND REPAIR EXISTING FRAMING. REPLACE SOFFIT BOARDS AND WOOD BRACKETS AS REQUIRED. MATCH ORIGINAL SIZE, SHAPE, AND CONFIGURATION.
10. REMOVE METAL SIDING SYSTEM INCLUDING ALL OF ITS ACCESSORIES.
11. AT PORCH REMOVE DAMAGE CEILING BOARDS AND REPLACE TO MATCH EXISTING.
12. SCRAPE EXISTING SIDING AND TRIM. AND SAND BY HAND. REMOVE ALL LOOSE PAINT. COMPLY WITH ALL

- REGULATIONS CONCERNING PAINT REMOVAL. REPLACE ROTTEN OR BROKEN SIDING TO MATCH ORIGINAL.
13. PRIME SIDING WITH AN OIL BASED PRIMER AND INSTALL TWO COATS OF FINISH PAINT. USE SHERWIN WILLIAMS DURATION PAINT SYSTEM.
  14. RESTORE ALL EXISTING WINDOWS. REMOVE SASHES, STRIP PAINT, REGLAZE PANES, PRIME SASHES, AND APPLY TWO COATS OF FINISH PAINT. REPAIR FRAMES BY INSTALLING WOOD DUTCHMEN AND USING EPOXY WOOD FILLERS ON ALL ROTTEN AREAS. REMOVE ALL ROTTEN WOOD PRIOR TO REPAIRS. STRIP PAINT AT FRAMES, PRIME AND APPLY TWO FINISH COATS. USE TOP QUALITY BENJAMIN MOORE PRODUCTS.
  - 15.

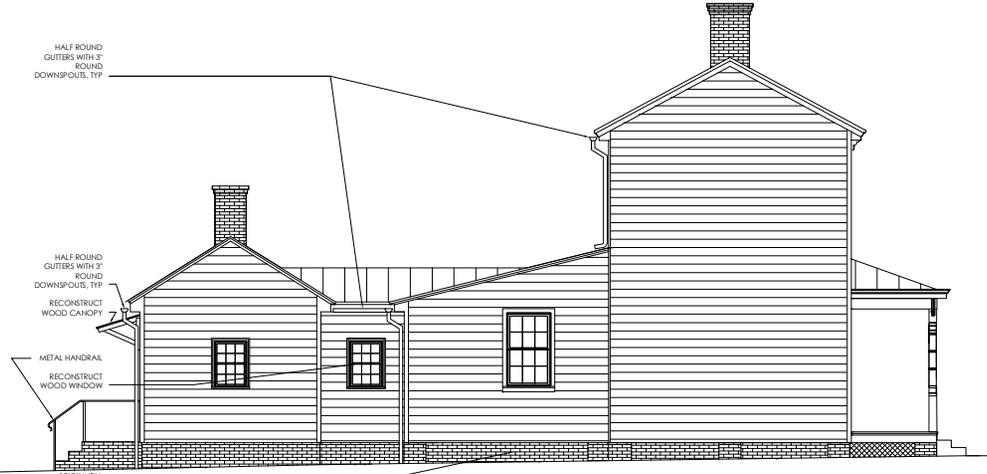
**FULL CIRCLE STUDIO**  
SUSTAINABLE ARCHITECTURE PLANNING & INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

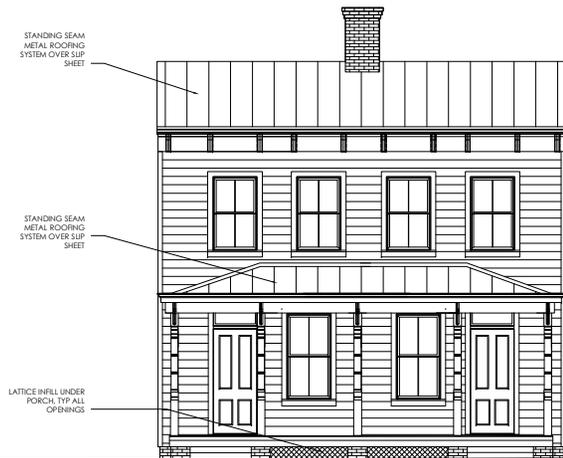
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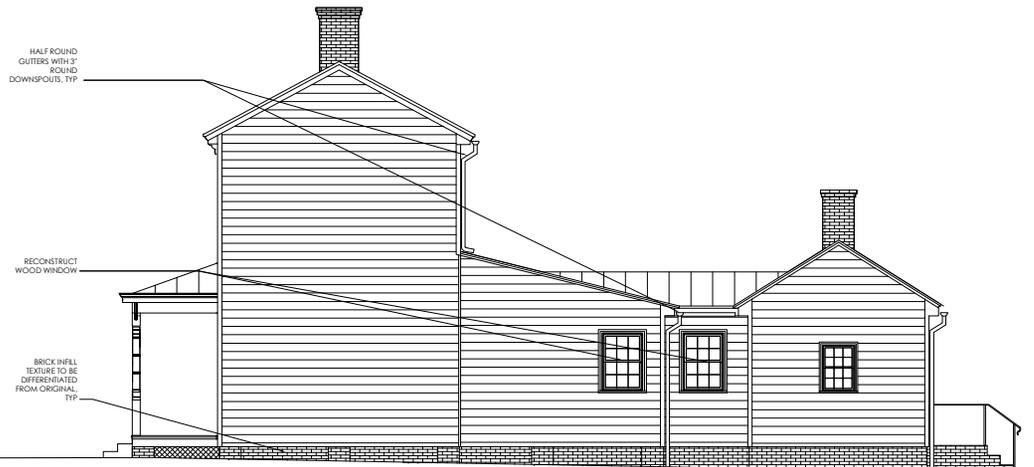
4 EAST ELEVATION  
SCALE: 1/4"=1'-0"



3 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



2 WEST ELEVATION  
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

NO.	REVISIONS	DATE
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**RESIDENCE**  
Address: 305 - 307 North West Street  
Petersburg, Virginia

NEW WORK ELEVATIONS & NOTES

ARCHITECT'S PROJECT NO. 225-02

SHEET

**A4**

DATE FEBRUARY 25, 2026

**6f. 227 Mercer Street**

**Historic District:** Poplar Lawn  
**Review Date:** March 11, 2026  
**Tax Parcel #:** 021-04-0001

**Applicant:** William Fitzhugh

**City of Petersburg  
Architectural Review Board  
Staff Report**



**Project Description:** Repair and renovate existing structure.

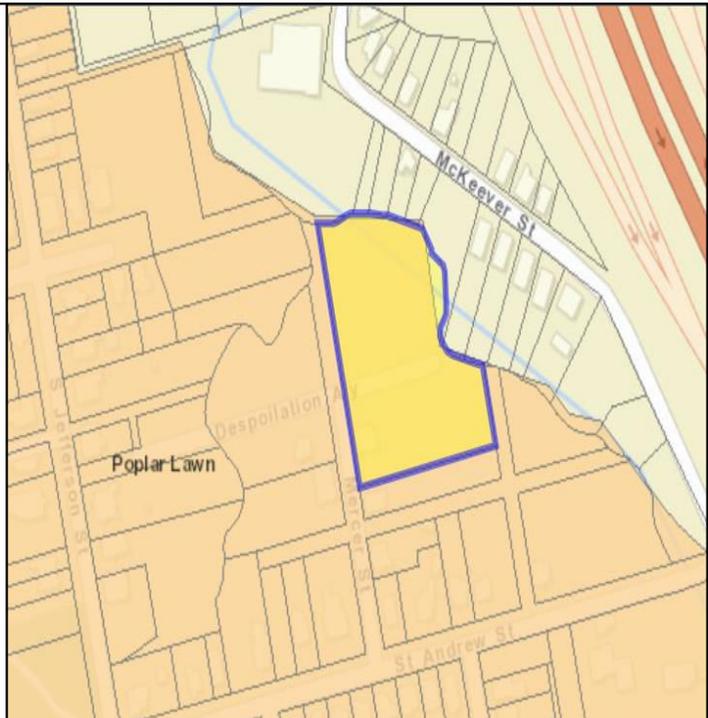
**Applicant proposal:**

The applicant proposes the following work:

- Regrade yard to address drainage issues
- Remove asphaltic siding elements to restore wood siding
- Repoint/reset masonry foundation and chimney, if needed
- Replace tin roofing with new standing seam tin roofing
- Restore porch columns and roof, reconstruct railing system
- Restore/reconstruct windows
- Restore built-in gutter system

**Attachments:**

Application, Restoration Plans



**Staff Recommendation:**

**Approval based on the Design Guidelines Chapters 4 and 5**

The reconnaissance-level survey for the property notes the poor condition of the site and the structure, built ca. 1860. The survey notes only one original window remains on the building, the porch and gutter system are falling apart, and the original siding was replaced by Bricktex asphaltic siding which is in poor condition. Unfortunately, several original features of the dwelling are missing, but the proposed work will repair and restore original elements where they still exist, including the siding, built-in gutters, and porch. Missing features or features damaged beyond repair will be replaced in-kind, including several windows and the roof.

The survey also notes there is a threat of structural failure, which the proposed foundational work would address. This project would revitalize a neglected dwelling which is contributing to the overall Poplar Lawn Historic District.

The full plans with scope of work is included as an attachment to this report.



City of Petersburg - Architectural Review Board  
 APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: 227 Mercer St.  
 Historic District: Poplar Lawn

Application for COA       Application for Historic Building Plaque       Application for Discussion

Applicant: William G. Fitzhugh  
 Address: 3816 W Old Gun Rd Middlethorpe VA 23113  
 Owner: Petersburg Revival LLC  
 Address: 3816 W Old Gun Rd Middlethorpe VA 23113  
 Firm/Contractor Preparing Plans: Full Circle Studio  
 Address: 11675 Pine Needles Dr Providence Forge VA 23140  
 Firm/Contractor to Perform Work: Bellows Arsenal Farm  
 Address: 3816 W Old Gun Rd Middlethorpe VA 23113

E-Mail:   
 Phone:   
 E-Mail:   
 Phone:   
 E-Mail:   
 Phone: 

Type of Project:  Residential       Commercial  
 Category:  Repair       Renovation, Restoration       Addition  
 Change in materials       Approval of paint colors       Driveway, sidewalk, parking lots  
 Fencing       Signage       New construction  
 Demolition  
 Plaque  
 Other:

Project Description (attached additional sheets as needed):  
 Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.

total renovation

[Signature]  
 Applicant's Signature  
2-25-26  
 Date

FOR OFFICE USE  
 Date received: \_\_\_\_\_ Agenda date: \_\_\_\_\_  
 Tax Parcel: \_\_\_\_\_ Zoning: \_\_\_\_\_  
 Additional permits needed from planning: \_\_\_\_\_

\*A complete application must be received at least 15 days prior to a regular Architectural Review Board meeting to be heard at that meeting.

# 227 MERCER ST. RESIDENCE

## PETERSBURG, VIRGINIA 23834

### ARB REVIEW SET

**FULL CIRCLE STUDIO**  
SUSTAINABLE ARCHITECTURE PLANNING & INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

#### GENERAL NOTES

1. THESE DRAWINGS AND SPECIFICATIONS REPRESENT "SCOPE OF SERVICES" AND ARE THEREFORE ABBREVIATED. THEY ARE PROVIDED WITH THE UNDERSTANDING THAT THE OWNER AND ARCHITECT HAVE BEEN CONSULTED FOR ADEQUATE SCHEDULES, SPECIFICATIONS AND DETAILS FOR THE COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PERFORM A LEVEL OF QUALITY AND WORKMANSHIP THAT IS CONSISTENT WITH THE ACCEPTED STANDARDS OF THE INDUSTRY AND IN FULL COMPLIANCE WITH ALL APPLICABLE CODES.
2. ALL WORK AND MATERIALS MUST COMPLY WITH ALL LOCAL AND GOVERNING CODES.
3. ALL WORK AND MATERIALS MUST BE PROVIDED AND INSTALLED BY QUALIFIED PERSONNEL IN A WORKMANLIKE MANNER.
4. ALL PRODUCTS MUST BE NEW, SET OF THEIR KIND, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. WRITTEN DIMENSIONS (WHY PRECEDENCE OVER SCALED DIMENSIONS) THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS.
6. CONTRACTOR MUST VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION OR ORDERING MATERIALS. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES, DISCREPANCIES, OR AMBIGUITIES, THE CONTRACTOR WITH THE CONSTRUCTION DOCUMENTS MUST BE IN CONTACT AT THE EARLIEST OPPORTUNITY WITH THE ARCHITECT FOR CLARIFICATION. DURING CONSTRUCTION, THE CONTRACTOR HAS EXISTING CONDITIONS ARE SHOWN OR SHOWN. IF THE CONTRACTOR FINDS SUCH CONDITIONS, HE MUST TAKE IMMEDIATE ACTION TO STABILIZE THE CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
7. CONTRACTOR MUST COORDINATE THE WORK OF ALL SUBCONTRACTORS.
8. CONTRACTOR MUST COORDINATE ALL REQUIRED SILENT WORK.
9. CONTRACTOR MUST MAINTAIN A CLEAN AND SECURE WORK SET AT ALL TIMES.
10. CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION DEVICES, CONSTRUCTION BARRICADES, AND PROTECTIVE DEVICES DURING CONSTRUCTION.
11. CONTRACTOR MUST MAINTAIN FIRE EXTINGUISHING EQUIPMENT AT THE WORK AREA AT ALL TIMES.
12. PROTECT EXISTING EXTERIOR CONSTRUCTION FROM DAMAGE. PROTECT OPENINGS TO PREVENT WEATHER FROM ENTERING THE BUILDING. REPAIR OR REPLACE ANY DAMAGED EXISTING CONSTRUCTION.
13. DIMENSIONS TO EXTERIOR WALLS ARE TO THE FACE OF STUD AND FOUNDATION WALL. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD. CENTRELINE OF OPENING, CENTER OF COLUMN, OR AS OTHERWISE INDICATED.
14. ALL DIMENSIONS MUST BE CHECKED AND REFERRED PRIOR TO PROCEEDING WITH THE WORK OR ORDERING MATERIALS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
15. WRITTEN DIMENSIONS ON THESE DRAWINGS MUST HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
16. ON ALL SCALED DRAWINGS, CONTRACTOR TO REST ON WRITTEN DIMENSIONS. ALL DIMENSIONS SHOULD BE VERIFIED. NOTIFY ARCHITECT FOR CLARIFICATION.
17. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY MUST BE PRESURE TREATED TO PREVENT ROT AND DECAY.
18. ALL SURFACES EXPOSED TO WEAR IN THE WORK AREA, EXTERIOR OR INTERIOR, ARE TO BE FINISHED UNLESS THEY ARE PREPARED TO BE FINISHED. OR NATURAL MATERIALS SUCH AS BRICK & STONE, OR STAINED WOOD SURFACES. EXPOSED GALVANIZED METAL IS TO BE PAINTED.
19. PRIME AND PAIR ALL EXPOSED WOOD SURFACES UNLESS OTHERWISE NOTED. PRIME ALL NEW CONCEALED SURFACES OF WOOD.
20. CHASE ALL WOOD, METAL, AND CONCRETE JOINTS. CHASE BETWEEN WOODWORK AND OTHER MATERIALS.
21. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC ACTION OR CORROSION.
22. ALL PIPES, DUCTS, VENTS, WIRES, ETC. ARE TO BE CONCEALED.
23. FINISH ALL WALLS, LATHES, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK.
24. ON USE OF OTHER PANELS, TYPING EQUIPMENT, CUTTING EQUIPMENT OR OTHER TOOLS IN A WAY THAT WOULD CAUSE COMBUSTIBLE CONSTRUCTION OR MATERIALS.
25. MAINTAIN ALL STATUORY REQUIRED INSURANCE FOR THE PROJECT. SUBMIT A CERTIFICATE OF INSURANCE TO THE OWNER FOR REVIEW BY THE OWNER'S INSURANCE AGENT.
26. UPDATE THE ARCHITECT AND THE OWNER ON THE PROGRESS OF THE WORK ON A REGULAR BASIS. PROVIDE A SCHEDULE FOR THE PROJECT INDICATING DATES FOR THE FOLLOWING: FINAL FOUNDATION POUR, FRAMING COMPLETION, ROUGH-IN COMPLETION, DETAILS COMPLETION, AND FINAL CLOSEOUT. PROVIDE ACCESS AND ALLOW THE ARCHITECT TO REVIEW THE CONSTRUCTION THROUGHOUT THE PROJECT.
27. PROVIDE A SCHEDULE FOR THE PROJECT INDICATING DATES FOR THE FOLLOWING: FINAL FOUNDATION POUR, FRAMING COMPLETION, ROUGH-IN COMPLETION, DETAILS COMPLETION, AND FINAL CLOSEOUT. PROVIDE ACCESS AND ALLOW THE ARCHITECT TO REVIEW THE CONSTRUCTION THROUGHOUT THE PROJECT.
28. PROVIDE SUMP PUMPING: ON ALL WALLS BELOW GRADE, AND ALL MASONRY WALLS SUR ACCESS RIDGE WALL CAVERNS.
29. PROVIDE PREFABRICATED MOLDINGS, CORNICES, AND TRANSOMS AT ALL FINISHING AREAS.
30. PROVIDE CONTROL JOINTS AND EXPANSION JOINTS AS RECOMMENDED BY MANUFACTURERS AND AS REQUIRED BY INDUSTRY STANDARDS. ARCHITECT APPROVED BY ARCHITECT. REVIEW EXPANSION JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
31. IN CASE OF CONFLICTS BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT FOR CLARIFICATIONS BEFORE PROCEEDING WITH THE WORK.
32. LOCATIONS AND SIZES OF ELECTRICAL AND MECHANICAL EQUIPMENT AND ROOMS ARE SHOWN TO ILLUSTRATE THE DESIGN INTENT ONLY. THE CONTRACTOR IS TO VERIFY EQUIPMENT SIZES AND LOCATIONS.
33. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK MUST BE PERFORMED ON A DESIGN BOLD BASIS BY THE CONTRACTOR. FULL CIRCLE STUDIO HAS NOT PREPARED OR REVIEWED ANY DRAWINGS FOR THAT WORK, AND TAKE NO RESPONSIBILITY FOR THAT DESIGN.

#### VICINITY MAP

#### PROJECT DESCRIPTION

THIS PROJECT IS AN HISTORIC RESTORATION / RENOVATION THAT WILL RESTORE A THREE BEDROOM SINGLE FAMILY HOME. THE KITCHEN AND TWO AND A HALF BATHROOMS WILL RECEIVE ALL NEW CASEWORK AND PLUMBING SYSTEMS. NEW WORK INCLUDES ALL NEW PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS TO BE DESIGN BUILT BY THE CONTRACTOR. FULL CIRCLE STUDIO HAS NOT PREPARED OR REVIEWED ANY DRAWINGS FOR MEP WORK, AND TAKE NO RESPONSIBILITY FOR THAT DESIGN.

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#### PROJECT INFORMATION

APPLICABLE CODE	2021 VUSBC (2021 IBC)
HEIGHT	EXISTING
CONSTRUCTION TYPE	V-B
AREA	1,829 SQ.FT (EXISTING)
USE	RS SINGLE-FAMILY RESIDENCE
CITY ZONING	R-3

CLIENT:	PETERSBURG REVIVAL 3816 Old Gun Road Midlothian, Virginia 23133
ARCHITECT:	FULL CIRCLE STUDIO, PLLC 11678 Pine Needles Drive Providence Forge, Virginia 23140
CONTACT:	Sarah Grier Barber AIA, LEED AP

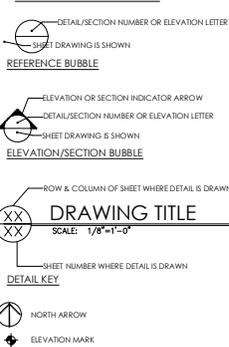
#### NO. REVISIONS DATE

#### ABBREVIATIONS

BT	BITUMENOUS	IB	INTERNATIONAL BUILDING CODE #
BLDG	BUILDING	INCL	INCLUDE
BTM	BOTTOM	INSUL	INSULATION
BTU	BRITISH THERMAL UNIT	INT	INTERNATIONAL RESIDENTIAL CODE #
CL	CENTRALINE	JC	JANITOR'S CLOSET
CLG	CEILING	M-LAM	TRUS JOIST # MICROLAM #
CLR	CLEAR	MAX	MAXIMUM
CMU	CONCRETE MASONRY UNIT	MCH	MECHANICAL
COL	COLUMN	MFR	MANUFACTURER
CONC	CONCRETE	M.O.	MASONRY OPENING
CONT	CONTINUOUS	MIL	METAL
CTR	CENTER	N/A	NOT APPLICABLE
		N.L.C.	NOT IN CONTRACT
		NO	NO
		NTS	NOT TO SCALE
		O.C.	ON CENTER
		OPNG	OPENING
		O.P.	OPPOSITE HAND
		EXT	EXTERIOR

FRP	FIBERGLASS REINFORCED POLYESTER	PERM	PERMETER
FD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE
FIN	FLOOR	PLYWD	PLYWOOD
FT	FEET	PLM	PLUMBING/MECHANICAL/
FTG	FOOTING	PREFAB	PREFABRICATED
GA	GALVANIZED	PSI	POUNDS PER SQUARE INCH
GALV	GALVANIZED	PVC	PRESSURE TREATED WOOD
GC	GENERAL CONTRACTOR	PNT	PAINT
GPOW	GYPSONUM WALL BOARD	POLYVNYL	POLYVINYL CHLORIDE
HORIZ	HORIZONTAL	QT	QUARRY TILE
HT	HEIGHT	QTY	QUANTITY
HOLLOW	HOLLOW METAL	RB	RUBBER WALL BASE
HVAC	HEATING, VENTILATING & AIR CONDITIONING	REINF'D	REINFORCED
		REQ'D	REQUIRED
		R.O.	ROUGH OPENING
		SF	SQUARE FEET
		SHT	SHEET
		SM	SIMILAR
		SPFC	SPECIFICATION
		SQ	SQUARE
		SIC	SOUND TRANSMISSION CLASS
		STD	STANDARD
		STL	STEEL
		STRUCT	STRUCTURAL
		T&G	TONGUE & GROOVE
		TCA	TILE COUNCIL OF AMERICA
		TJ	TRUS JOIST # JOISTS
		TRED	TREATED
		TYP	TYPICAL
		UL	UNDERWRITERS' LABORATORY
		UN.O.	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		VUSBC	VIRGINIA UNIFORM STATEWIDE BUILDING CODE
		W/	WITH
		W/IN	WITHIN
		W/OUT	WITHOUT
		W/O	WOOD

#### SYMBOL LEGEND



#### DRAWING INDEX

C3	COVER SHEET
A3	EXISTING CONDITIONS, REPAIR PLANS & GENERAL REPAIR NOTES
A2	REPAIR ELEVATIONS
A3	PLANS & STRUCTURAL NOTES
A4	ELEVATIONS

#### RESIDENCE

Address:  
227 Mercer Street  
Petersburg, Virginia

#### COVER SHEET

ARCHITECT'S PROJECT NO. 225-04

#### SHEET

CS

DATE FEBRUARY 25, 2026

## GENERAL REPAIR NOTES

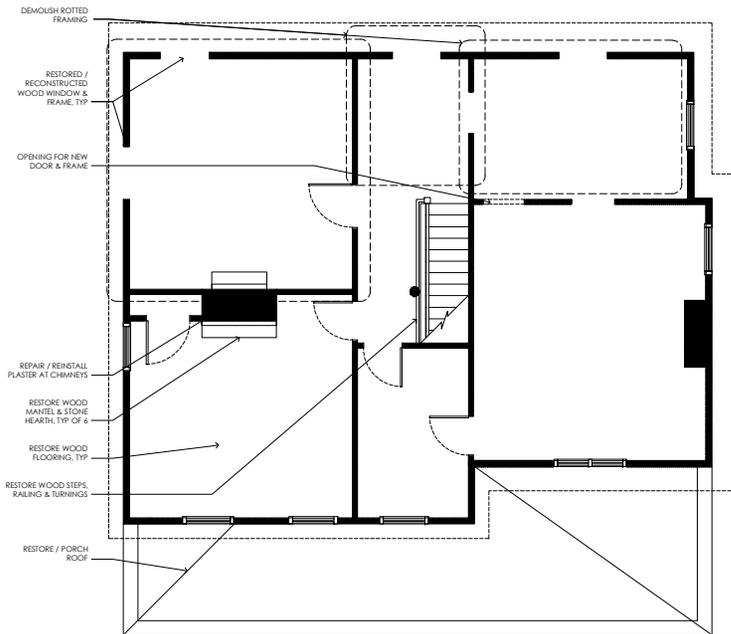
- THE GENERAL CONTRACTOR WILL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THE DRAWINGS AND HOIST ITEMS REQUIRED TO BE REMOVED TO FULFILL THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- DEMOLITION AND REMOVAL OF DEBRIS: ALL DEMOLITION WORK AND RUBBISH REMOVAL WILL BE CONFINED TO THE TIMES AND HOURS ALLOWED BY ALL LOCAL CODES AND COORDINATED WITH THE CONSTRUCTION MANAGER.
- DEBRIS WILL BE REMOVED FROM THE SITE ON A DAILY BASIS.
- DEMOLITION INVOLVING THE INTERIOR OF THE BUILDING MUST BE ACCOMPANIED BY ALL SAFETY MEASURES NECESSARY AND REQUIRED TO PROTECT WORKERS AT THE SITE.
- PROVIDE PROTECTION FOR EXISTING FINISHES TO REMAIN, INCLUDING, BUT NOT LIMITED TO ORNAMENTAL & FINISH PLASTER, WINDOWS, TRIM, AND ALL WOOD FLOORS.
- DEMOLITION INVOLVING MODIFICATION OR CREATION OF OPENING IN THE EXTERIOR ENVELOPE OF THE BUILDING MUST BE ACCOMPANIED BY SUBSTANTIAL INTERIOR CLOSURE OF SUCH OPENING, BEFORE SUBSEQUENT AND PERMANENT CLOSURE TO ASSURE BUILDING SECURITY AND WEATHER RESISTANCE. DEMOLITION INVOLVING THE EXTERIOR ENVELOPE OF THE BUILDING MUST BE ACCOMPANIED BY ALL SAFETY MEASURES NECESSARY AND REQUIRED BY CODE AND AUTHORITIES TO PROTECT THE PUBLIC.
- DEMOLITION THAT INVOLVES ITEMS OR ASSEMBLIES WITH MECHANICAL, PLUMBING, OR ELECTRICAL COMPONENTS MUST HAVE SUCH CONNECTIONS DISCONNECTED, DEACTIVATED, CAPPED OR SEALED BY THE APPROPRIATE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS, UNLESS SHOWN OTHERWISE AS REQUIRED BY NEW WORK.
- RE-GRADE YARDS SO THAT WATER DRAINS AWAY FROM STRUCTURE.
- REPAIR AND RESET MASONRY FOUNDATIONS WHERE REQUIRED IN ORDER TO STABILIZE STRUCTURE, REUSE EXISTING BRICK AT REPAIRS TO EXISTING MASONRY.
- AT EXISTING EXTERIOR WALL CONSTRUCTION WHERE DAMAGED FROM DECAY AND / OR WEATHERING REPLACE DAMAGED AND ROTTEN ROOF, FLOOR, AND/OR WALL FRAMING, MATCH EXISTING FRAMING SPACING AND THICKNESS. AT WALLS INSTALL R-13 BATT INSULATION WITH VAPOR BARRIER, INSTALL NEW 1/2" DRYWALL ON INTERIOR. INSTALL WOOD SIDING TO MATCH ORIGINAL PROFILE, OVERLAP, AND EXTEND SIDING INTO ADJACENT ORIGINAL SIDING TO CONCEAL PATCHED AREA, REUSE SOUND ROT FREE EXISTING SIDING WHERE POSSIBLE.
- DEMOLISH ALUMINUM SIDING SYSTEM IN ITS ENTIRETY.
- CONTRACTOR WILL REMOVE EXISTING PARTITIONS, DOORS, FRAMES, HARDWARE AND CABINETS, WHERE INDICATED ON DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION.
- ALL SALVAGE OR REMOVED MATERIALS MUST BE OFFERED TO THE OWNER PRIOR TO REMOVAL FROM SITE.
- THIS IS AN HISTORIC INVESTMENT TAX CREDIT PROJECT. THE SECRETARY OF INTERIORS' STANDARDS FOR REHABILITATION APPLY TO ALL ASPECTS OF THE PROJECT. NO HISTORIC, CONTRIBUTING, ORIGINAL MATERIALS ARE TO BE REMOVED FROM THE PROJECT UNLESS REVIEWED AND APPROVED BY THE ARCHITECT AND HISTORIC CONSULTANT. IF A QUESTION ARISES AS TO WHETHER A MATERIAL IS TO BE REMOVED, CONSULT THESE PARTIES FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- SCRAPE EXISTING SIDING AND TRIM, AND SAND BY HAND. REMOVE ALL LOOSE PAINT. COMPLY WITH ALL REGULATIONS CONCERNING PAINT REMOVAL. REPLACE ROTTEN OR BROKEN SIDING TO MATCH ORIGINAL PRIME SIDING WITH AN OIL BASED PRIMER, AND INSTALL TWO COATS OF FINISH PAINT. USE SHELVING WILLIAMS DURATION PAINT SYSTEM.
- REMOVE DAMAGED EXISTING CEILING. INSTALL NEW 1/2" DRYWALL.
- REMOVE ALL EXISTING DAMAGED PLASTER, INSTALL NEW 1/2" DRYWALL.
- RESTORE ALL EXISTING WINDOWS. REMOVE SASHES, STRIP PAINT, RE-GLAZE PANE, PRIME SASHES, AND APPLY TWO COATS OF FINISH PAINT. REPAIR FRAMES BY INSTALLING WOOD BUTTJOINTS AND USING EPOXY WOOD FILLERS ON ALL ROTTEN AREAS. REMOVE ALL ROTTEN WOOD PRIOR TO REPAIRS. STRIP PAINT AT FRAMES, PRIME AND APPLY TWO FINISH COATS. USE TOP QUALITY BENJAMIN MOORE PRODUCTS, OR EQUAL.
- NEW WINDOWS AND FRAMES TO BE WOOD WITH PROFILES AND DIMENSIONS TO MATCH EXISTING / ORIGINAL UNITS.
- REPAIR / RECONSTRUCT EXISTING FASCIA AND SOFFITS. REMOVE EXISTING SOFFIT BOARDS AND REPAIR EXISTING FRAMING. REPLACE SOFFIT AND FASCIA BOARDS AS REQUIRED. MATCH ORIGINAL SIZE, SHAPE, AND CONFIGURATION.
- REMOVE EXISTING EXISTING PARTITIONS, DOORS, FRAMES, LARDWARE, AND CABINETS, WHERE INDICATED ON DRAWINGS.
- ALL MATERIALS, FIXTURES, AND EQUIPMENT SALVAGED FOR REUSE MUST BE CLEANED AND REPAIRED AS REQUIRED PRIOR TO REINSTALLATION.

## FULL CIRCLE STUDIO

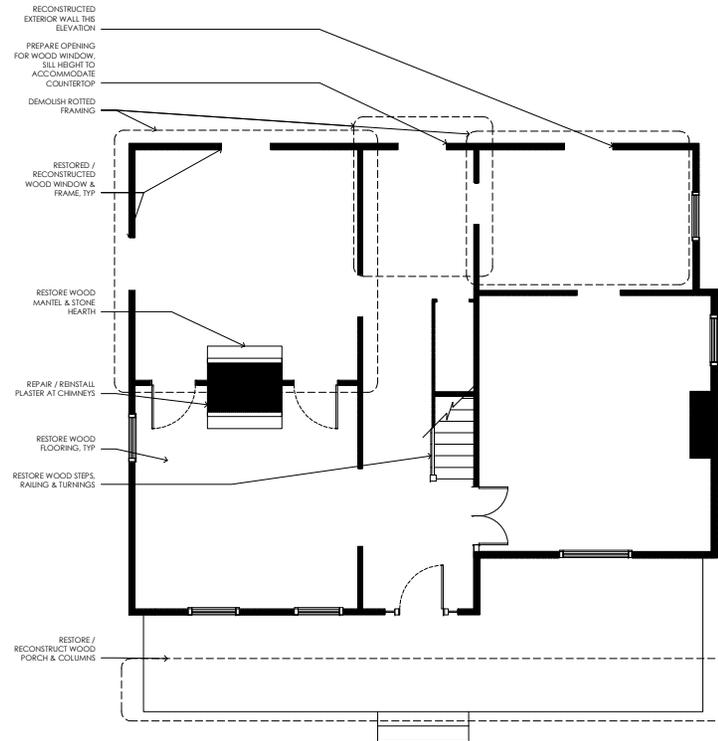
SUSTAINABLE ARCHITECTURE PLANNING & INTERIORS

11678 PINE NEEDLES DRIVE  
PROVIDENCE FORGE, VIRGINIA 23140  
804.307.7330

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2 SECOND FLOOR  
A1 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR  
A1 SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE
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### RESIDENCE

Address:  
227 Mercer Street  
Petersburg, Virginia

EXISTING CONDITIONS, REPAIR  
PLANS & GENERAL REPAIR  
NOTES

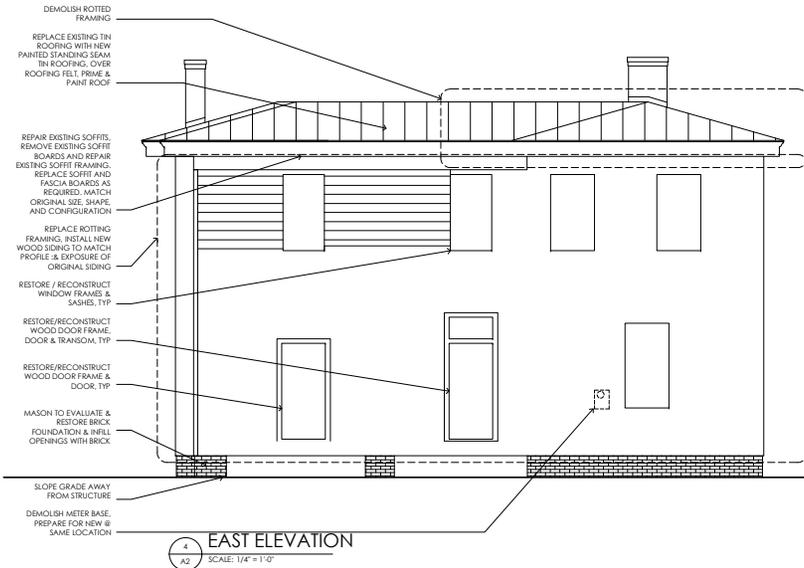
ARCHITECT'S PROJECT NO. 225-04

SHEET

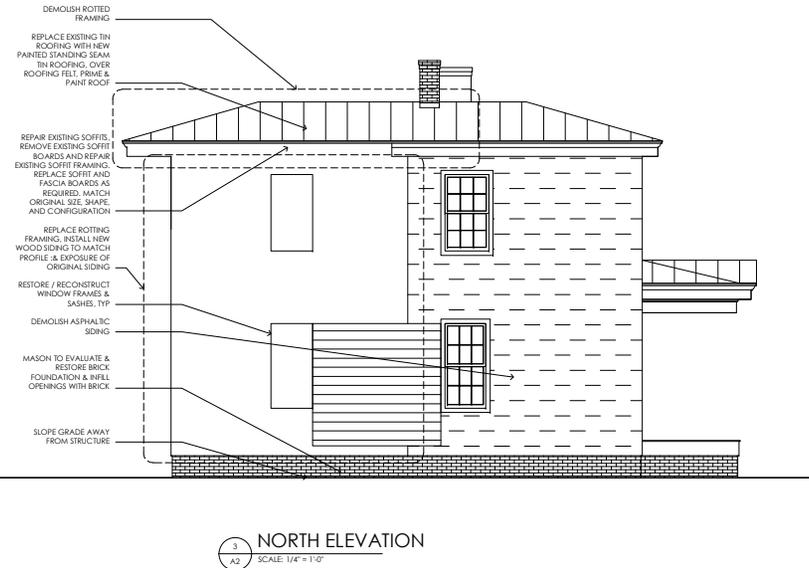
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DATE JANUARY 9, 2024

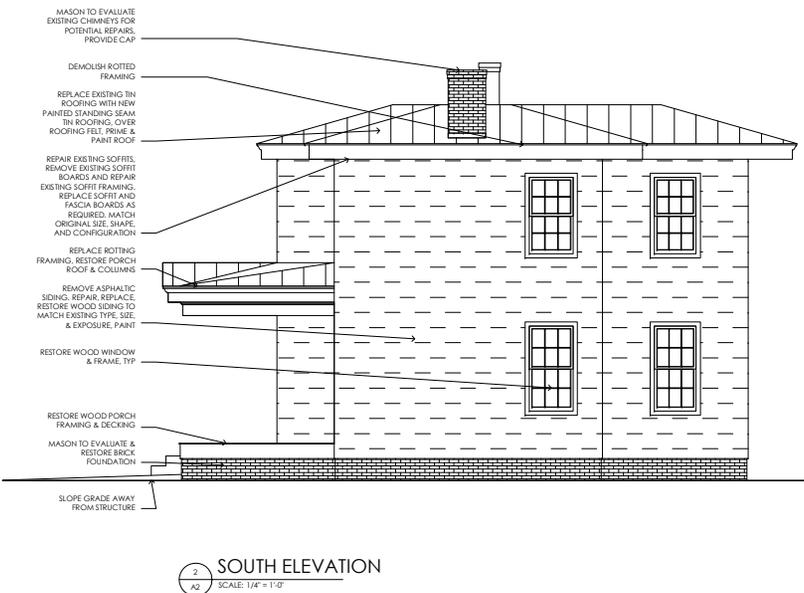
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**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE
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**RESIDENCE**  
Address:  
227 Mercer Street  
Petersburg, Virginia

REPAIR ELEVATIONS

ARCHITECT'S PROJECT NO. 225-04

SHEET

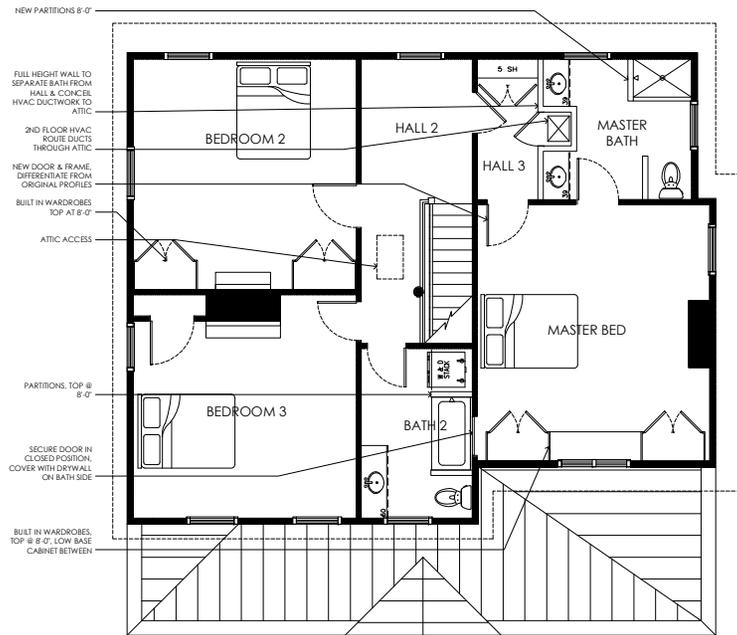
**A2**

DATE JANUARY 9, 2026

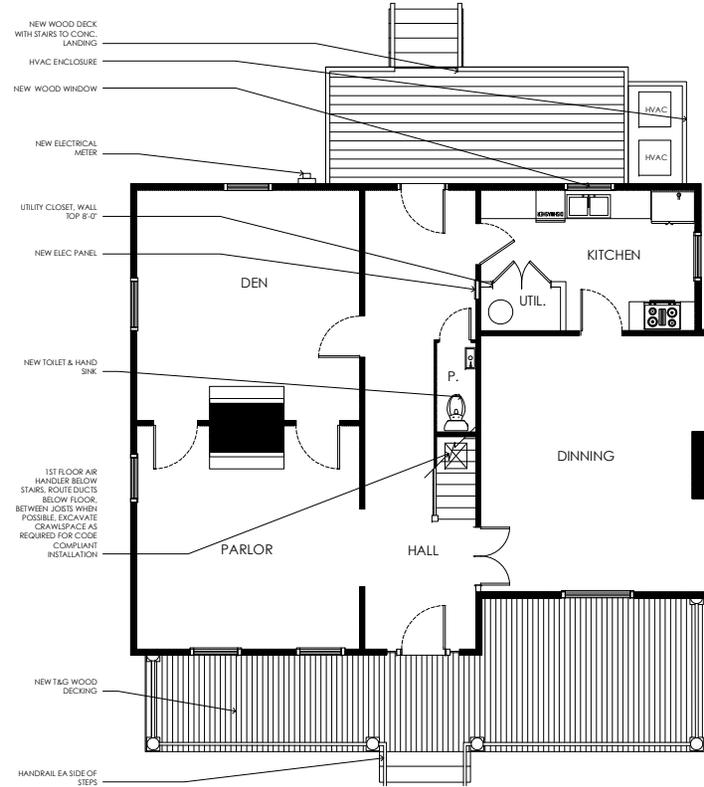
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STUDIO**  
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INTERIORS

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2 SECOND FLOOR  
SCALE: 1/4" = 1'-0"



<b>PARTITION TYPES</b>		<b>BUILDING AREA:</b>	
—	EXISTING CONSTRUCTION	1ST FLOOR	1,237 GSF
—	NEW PARTITION	2ND FLOOR	1,207 GSF
- - -	TO BE DEMOLISH	TOTAL	2,444 GSF

1 FIRST FLOOR  
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE

**RESIDENCE**  
Address:  
227 Mercer Street  
Petersburg, Virginia

PLANS & STRUCTURAL NOTES

ARCHITECT'S PROJECT NO. 225-04

SHEET

**A3**

DATE JANUARY 9, 2024

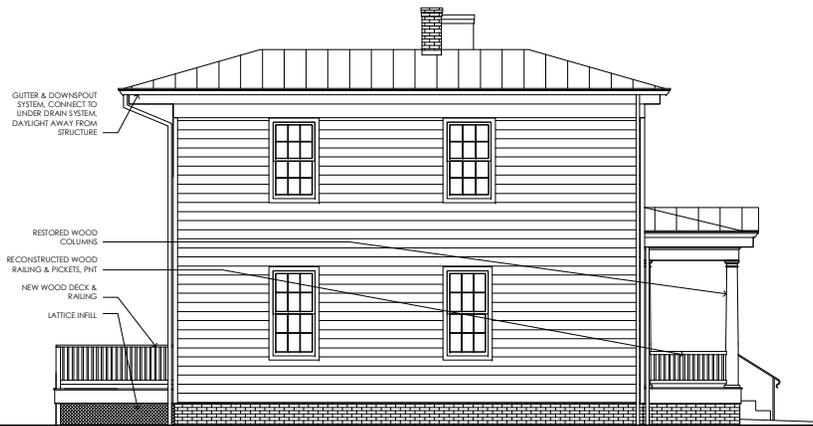
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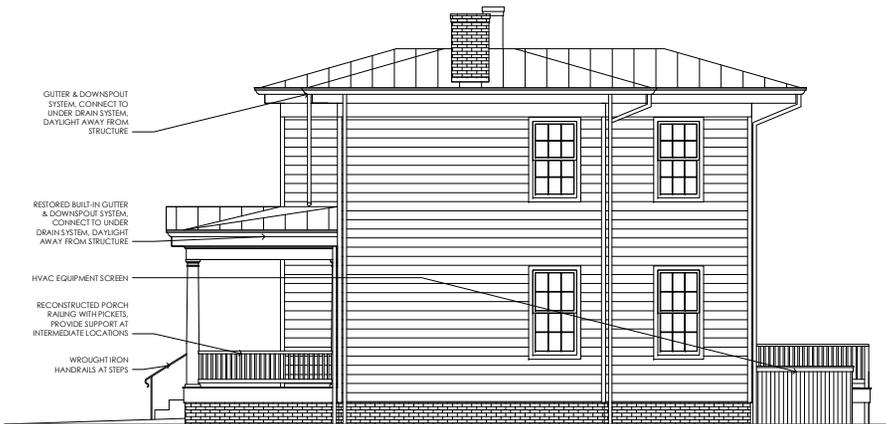
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4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE
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**RESIDENCE**  
Address:  
227 Mercer Street  
Petersburg, Virginia

ELEVATIONS

ARCHITECT'S PROJECT NO. 225-04

SHEET

**A4**

DATE JANUARY 9, 2026

Sheet: 1/9/2026 5:26:06 PM

**6g. 15 Pine Street**

**Historic District:** Folley Castle

**Review Date:** March 11, 2026

**Tax Parcel #:** 023-18-0007

**Applicant:** Martine Richardson

**City of Petersburg  
Architectural Review Board  
Staff Report**

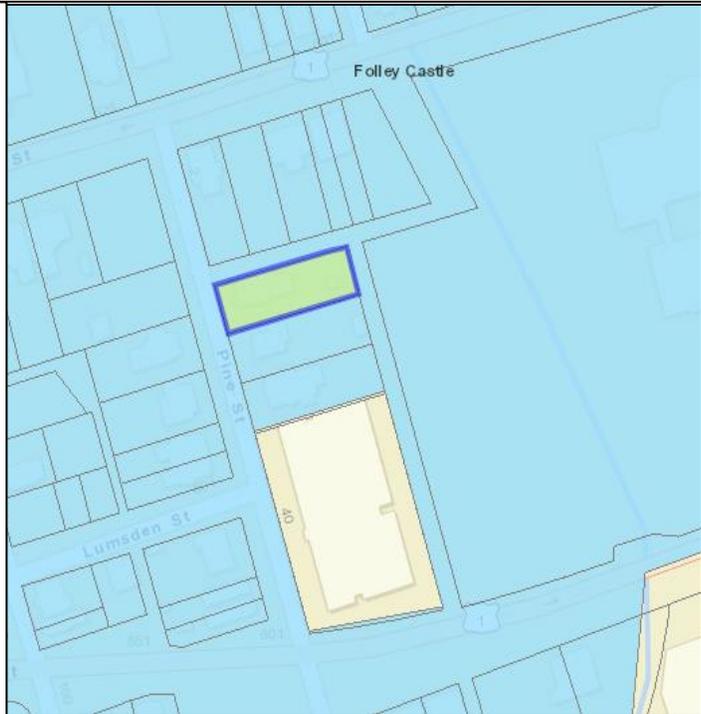


**Project Description:** Repair and renovate existing structure.

**Applicant proposal:**

The applicant proposes the following work:

- Replace existing asphalt shingle roof with dimensional asphalt shingle roof
- Cancel one of the two front doors and relocate door to right side of porch
- Replace damaged windows with single-hung, 1-over-1 wood windows on front and side façades; vinyl windows to be used on rear facade
- Remove non-historic awnings from front façade; Repair existing columns, railing, and trim on front porch
- Repaint home navy color



**Attachments:**

Application, Scope of Work, Material Specs

**Staff Recommendation:**

**Various based on the Design Guidelines Chapters 4 and 5 (see below)**

**Approval of roof replacement, awning removal, porch repairs, and window replacement:** The like-for-like replacement of the roof is appropriate. The removal of the non-historic awnings is appropriate. The reconnaissance-level survey for the property mentions that the awnings obscure the features of the porch. The applicant proposes to repair the porch rather than replacing any features. The application notes the window openings, headers, and sills would remain the same. Wood sashes would be used, matching the existing material. This would be acceptable, assuming the windows cannot be repaired, which appears to be the case based on the photos provided.

**More information needed on door relocation:** Please note the applicant proposes vinyl windows on the rear of the building, which is not visible from the street right-of-way and would not be subject to a Certificate of Appropriateness. Staff would not recommend approving the door relocation without additional information, including a rendering showing the proposed location. There are windows on the right-side of the front façade and it's unclear how these would be affected.

**Administrative review on paint color:** Staff would request verification of the exact shade of navy requested. There are houses in the neighboring area that are varying shades of blue, but it should be ensured that the proposed color follows the guidance of the recently-adopted color chart.



City of Petersburg - Architectural Review Board
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Address: \_\_\_\_\_
Historic District: \_\_\_\_\_

- Application for COA
Application for Historic Building Plaque
Application for Discussion

Applicant: \_\_\_\_\_ E-Mail: [Redacted]
Address: \_\_\_\_\_ Phone: [Redacted]
Owner: \_\_\_\_\_ E-Mail: [Redacted]
Address: \_\_\_\_\_ Phone: [Redacted]
Firm/Contractor Preparing Plans: \_\_\_\_\_ E-Mail: [Redacted]
Address: \_\_\_\_\_ Phone: [Redacted]
Firm/Contractor to Perform Work: \_\_\_\_\_ E-Mail: [Redacted]
Address: \_\_\_\_\_ Phone: [Redacted]

- Type of Project: Residential, Commercial
Category: Repair, Renovation, Restoration, Change in materials, Approval of paint colors, Fencing, Signage
Addition, Driveway, sidewalk, parking lots, New construction, Demolition, Plaque, Other

Project Description (attached additional sheets as needed):
Please provide as much information as possible. The Architectural Review Board may deny or table requests that lack sufficient information for review and if you or your representative are not present. Please see Application Guidance and the Historic District Design Guidelines for additional information. The Historic District Guidelines are available for \$25 in the Planning Department.

\_\_\_\_\_  
\_\_\_\_\_

Mats J. [Signature]
Applicant's Signature

2/23/20
Date

FOR OFFICE USE
Date received: \_\_\_\_\_ Agenda date: \_\_\_\_\_
Tax Parcel: \_\_\_\_\_ Zoning: \_\_\_\_\_
Additional permits needed from planning: \_\_\_\_\_

\*A complete application must be received at least 15 days prior to a regular Architectural Review Board meeting to be heard at that meeting.

## **Application Guidance and Checklist**

The ARB bases their decisions on the Secretary of the Interior's Standards for Rehabilitation and the Petersburg's Historic Districts Design Guidelines, which can be found on the City's website and are available for purchase in CD or hard copy format.

Information required for review will vary depending on the nature of the project. The following is required for each category submitted in order to complete the application. It is recommended that applicants consult with the Preservation Planner before the application is submitted to ensure completeness. The ARB may deny or table requests based on a lack of information.

### **A – Repair: In-Kind with like materials**

Plans/ elevations detailed enough to depict scope of work

Product samples of replaced materials; including roofing, brick, mortar, siding, and windows

Photographs of structure

### **B – Renovation, Restoration**

Plans and building elevations to scale

Details including dimensions and materials

Product sample or specification sheet of any replaced material, including roofing, brick, siding, windows

Photographs of structure

### **C - Change in Materials**

Justification for replacement over repair

Plans and building elevations to scale

Details including dimensions and materials

Product sample or specification sheet of any replaced material, including roofing, brick, siding, windows

Photographs of structure

### **D – Approval of Paint colors**

Samples or listing of the paint brand, color name, and number

Color rendering of elevation for complex color schemes

### **E – Fencing**

Style/design of fence including materials and dimensions

Scale site plan with fence location

### **F – Signs**

Scale drawings, sign location, and specifications

Materials, colors, and message

Proposed lighting, when used

### **G – Additions to Existing Buildings**

Plans and building elevations to scale

Scale site plan

### **All materials and dimensions**

**H- Driveway, Sidewalk, Parking lots**

Surface type/material including color

Landscaping plans

**I – New Construction**

May require an Application for Discussion before full approval

Plans and scale elevations

Scale site plan with square footage of building and setbacks

All exterior materials

**J – Demolition**

Consultation with The City of Petersburg Zoning Ordinance, Article 34 Section 15.

Explanation as to why renovation is not feasible

Proposed use of property after demolition

Detailed photographs of as much of the structure as possible

**K- Other Projects**

Plans and scale elevations

Materials, product samples including roofing, brick, mortar, siding, windows

Scale site plan

Photographs of structure

**L - Historic Building Plaque**

Location, use and name of building, date of construction and restoration

Description of restoration work completed

Color photographs of exterior facade before and after restoration

## **Certificate of Appropriateness – Exterior Rehabilitation**

Property: 15 Pine Street

Historic District: Folley Castle

Original Construction: Circa 1890

This application proposes exterior rehabilitation and restoration of an existing duplex constructed circa 1890. The scope of work focuses on preservation of the building's historic character while addressing deferred maintenance and removing non-historic additions.

### **Roof Replacement**

The existing asphalt roof shingles will be removed and replaced with architectural asphalt shingles of similar dimensional profile. The proposed shingle color will be black. The roofline, pitch, and structural form will remain unchanged.

### **Removal of Non-Historic Awnings**

The existing metal awnings on the front façade are later additions and will be removed. Their removal will restore the original proportions and visibility of the façade and porch structure.

### **Windows**

The existing double-hung windows are deteriorated and exhibit weather damage and compromised energy performance. Replacement windows are proposed that will match the existing 1-over-1 double-hung configuration in size, operation, and proportion. All existing window openings will remain unchanged. Trim profiles will be preserved and repaired where feasible to maintain the historic appearance of the façade.

### **Door Relocation (Duplex Configuration Adjustment)**

The structure currently contains two front entrances serving the duplex configuration. One existing entrance will be relocated to the right side of the front elevation to improve functionality of the units.

The new door will match the existing door in scale, proportion, and style. The former opening will be enclosed in a manner consistent with the existing façade materials and trim detailing to maintain architectural continuity. No additional openings are proposed beyond this adjustment.

### **Porch Restoration**

The front porch will be restored through repair and preservation of existing columns, railing, and trim detailing where feasible. The removal of the metal awnings will enhance the historic character and visibility of original porch features.

## **Siding**

The existing aluminum lap siding will remain. The exterior will be cleaned and repainted. No changes to siding material or configuration are proposed.

## **Paint Scheme**

The existing burgundy trim will be updated to a navy color. The body color will remain light. The proposed color palette is consistent with historic residential architecture of the late 19th century and compatible with the surrounding district.

# CERTIFICATE OF APPROPRIATENESS

## Roof Replacement – Product Submittal

**Property Address:** 15 Pine Street  
**Historic District:** Folley Castle  
**City:** Petersburg, Virginia  
**Year Constructed:** Circa 1890  
**Applicant:** Martine Richardson  
**Date Submitted:** 02/23/26

---

## Scope of Work – Roof Replacement

The existing asphalt roof shingles will be removed and replaced with architectural dimensional asphalt shingles. No changes are proposed to the existing roofline, pitch, overhangs, or structural form.

The proposed roofing material maintains a traditional dimensional appearance compatible with late 19th-century residential architecture and preserves the historic massing of the structure.

---

## Proposed Roofing Material

**Manufacturer:** GAF  
**Product Name:** Timberline® HDZ™ Architectural Asphalt Shingles  
**Material Type:** Laminated Architectural Asphalt Shingle  
**Profile:** High-definition dimensional profile  
**Warranty:** Limited Lifetime Warranty (per manufacturer specifications)

**Color Selected:** Charcoal

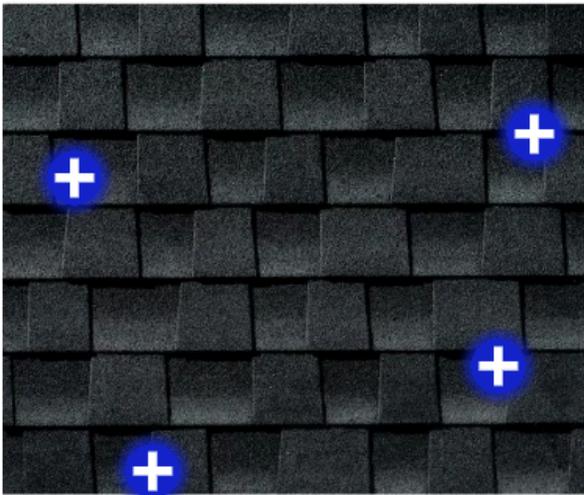
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## Design Intent & Historic Compatibility

The proposed GAF Timberline® HDZ™ shingles provide a dimensional texture that is visually compatible with traditional historic roofing materials while improving durability and weather resistance.

The roof replacement is considered like-kind in material category (asphalt shingle replacing asphalt shingle) and does not alter the architectural character, roof structure, or silhouette of the building.

No additional roof elements, dormers, or penetrations are proposed.



## Replacement Windows – 15 Pine Street

Historic District: Folley Castle  
City: Petersburg, Virginia

---

# FRONT ELEVATION – PRIMARY FACADE

## Wood Single-Hung Windows

### Manufacturer Information

**Manufacturer:** Sprose Window & Door  
**Product Type:** Single-Hung Replacement Window  
**Material:** Wood (painted exterior)

---

## Product Description

Repair existing windows on the primary (front) elevation will replicate the existing historic 1-over-1 single-hung configuration in size, proportion, and operation.

The proposed units will be wood construction to maintain compatibility with the historic character of the circa 1890 structure.

All existing window openings will remain unchanged.

---

## Physical Characteristics

- **Operation:** single-hung (operable upper and lower sash)
  - **Configuration:** 1-over-1
  - **Frame Material:** Wood
  - **Exterior Finish:** White (painted to match trim)
  - **Glass Type:** Double-pane insulated glass
  - **Grid Pattern:** True or simulated divided light consistent with historic profile
  - **Frame Profile:** Narrow traditional profile
- 

## Historic Compatibility Statement

The proposed wood windows maintain the original fenestration pattern, scale, and proportion of the primary façade. No alteration to window openings, headers, or sill heights is proposed.

The material selection supports preservation of the historic character visible from the public right-of-way.

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# REAR ELEVATION – SECONDARY FACADE

# Vinyl Single-Hung Windows

## Manufacturer Information

**Manufacturer:** Sprouse Window & Door

**Product Type:** Single-Hung Replacement Window

**Material:** Vinyl

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## Product Description

Replacement windows on the rear elevation will match the existing 1-over-1 configuration but will be vinyl construction. These windows are located on secondary elevations not prominently visible from the public right-of-way.

All existing window openings will remain unchanged.

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## Physical Characteristics

- **Operation:** Single-hung
  - **Configuration:** 1-over-1
  - **Frame Material:** Vinyl
  - **Exterior Finish:** White
  - **Glass Type:** Double-pane insulated glass
  - **Profile:** Slim frame consistent with traditional double-hung proportions
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## Compatibility Statement

Rear elevation vinyl windows maintain historic scale and configuration while allowing material flexibility on non-primary elevations.

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