

# City of Petersburg

## Planning Commission Meeting Agenda

Thursday, January 8, 2026

6:00 PM

Petersburg Public Library

1. **Call to Order**

2. **Roll Call**

3. **Adoption of the Agenda**

4. **Consent Agenda**

- a. December 4, 2025 Regular Meeting Minutes (pages 3-10)
- b. 2025 Fourth Quarter Attendance Report (page 11)

5. **Public Comment**

Comments and Correspondence from citizens, visitors, and delegations in the audience on items not on the agenda. Individuals wishing to speak should sign up prior to the start of the meeting. Please limit comments to no more than three minutes. Total Public Comment period shall not exceed 15 minutes.

6. **Public Hearings**

- a. 2025-SUP-05: Consideration of a resolution recommending approval of a request by Raymond Akoury, on behalf of RGC Investments C/O Hotrod Motorsports, for a special use permit for multiple-family dwellings as authorized and controlled by the R-5 Multiple Dwelling District Standards at 1325 West Washington Street, Parcel ID 024230005, in the B-2 General Commercial District (pages 12-46)

7. **Old Business**

- a. 2025-SUP-06: Consideration of a resolution recommending approval of a request by Donte Threath, on behalf of Sweet Investments VA LLC, for a special use permit to operate a nightclub at 2793 South Crater Road, Parcel ID 065110004, in the B-2 General Commercial District (pages 47-79)
- b. 2025-SUP-07: Consideration of a resolution recommending approval of a request by Pedro Rosario for a special use permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road, Parcel ID 101090005, in the B-2, General Commercial Zoning District (pages 80-124)

**8. New Business**

**9. Secretary/City Staff Reports**

**10. Announcements/Commissioner Reports**

**11. Adjournment**

**City of Petersburg**  
**Planning Commission Meeting Minutes**  
**December 4<sup>th</sup>, 2025**

**Members Present:**

Mr. Fenton Bland  
Mr. Al Cannon, Vice-Chair  
Ms. Kirsten Katzenbach  
Mr. Tony McDaniel  
Dr. James Norman

**Members Absent:**

Mr. Marshall Ford, Chair  
Mr. Thomas Hairston  
Dr. Dianne Harley  
Mr. Aku Reinhardt

**Others Present:** Jared Crews, City Planning Staff

**1. Call to Order:**

The City of Petersburg Planning Commission meeting held on Thursday, December 4, 2025, was called to order by Vice-Chair Cannon at 6:00 p.m.

**2. Roll Call:**

A quorum was established by Mr. Crews.

**3. Adoption of the Agenda:**

Vice-Chair Cannon called for any changes to the agenda. Mr. Crews suggested holding and closing each of the three public hearings and coming back to discussion and action on the items as time allowed to make sure that there was time enough for each hearing.

Commissioner Bland moved to adopt the agenda with Mr. Crews' recommendation. Commissioner Norman seconded the motion, which passed unanimously.

**4. Consent Agenda:**

Commissioner Katzenbach motioned to approve the consent agenda which included the November 6, 2025 regular meeting minutes. Commissioner McDaniel seconded the motion which passed unanimously.

## 5. Public Comment:

Vice-Chair Cannon opened the floor for public comments. Hearing none, the public comment period was closed.

## 6. Public Hearings:

- a. **2025-SUP-06:** Consideration of a resolution recommending approval of a request by Donte Threatt, on behalf of Sweet Investments VA LLC, for a special use permit to operate a nightclub at 2793 South Crater Road, Parcel ID 065110004, in the B-2 General Commercial District

Mr. Crews presented an overview of the request, explaining the applicant was seeking to operate a nightclub in the existing approximately 45,000 square-foot building on the subject property. Mr. Crews noted the application was accompanied by a management program and security plan as required by the Zoning Ordinance. Mr. Crews stated staff recommended approval of the request subject to ten conditions.

Vice-Chair Cannon then opened the floor for public comment.

Apostle Maxine E. Wilson, representative of In His Presence Apostolic Ministry at 2787 South Crater Road, stated she opposed the request. Ms. Wilson stated there are negative impacts to the surrounding properties from existing activities at the Elite Horseman club, which also operates at 2793 South Crater Road, including illegal activity, call to police, overparking, and littering. Ms. Wilson stated the proposed use is incompatible with the surroundings and does not offer public benefit.

Lash Barksdale, owner of properties at 2755m 2787, and 2744 South Crater Road stated the proposed use is incompatible with neighboring uses. Mr. Barksdale stated there are concerns about violence, trash on the site, conflicts over parking needs between the Elite Horseman and the proposed club, and the proximity to the Jessie Lee apartments to the rear of the property.

Joyce Vinson, 1608 Kings Road, stated she was also speaking on behalf of the church and stated there were existing issues with the Elite Horseman and a new club would add to those problems. Ms. Vinson stated the applicant did not reach out to neighboring properties before the public hearing and that the proposed use did not provide a benefit for local youth.

With no further comments, Vice-Chair Cannon closed the public hearing.

- b. **2025-SUP-07:** Consideration of a resolution recommending approval of a request by Pedro Rosario for a special use permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road, Parcel ID 101090005, in the B-2, General Commercial Zoning District

Mr. Crews presented an overview of the request, explaining the applicant currently operated PJ's Auto 3851 South Crater Road on the adjoining property, but is looking to move his business over to the subject property where he would be constructing a new 50-foot by 100-foot facility. Mr. Crews noted a site plan was provided along with the application.

Mr. Crews stated staff have several concerns about the proposed use, including the current condition of the site where a number of vehicles are stored, the need for landscaping once the site is developed, the location of an automotive service at one of the city's gateways, and the presence of a billboard on the property currently. Mr. Crews also explained there was no way to guarantee that the adjoining site would not continue to be operated as a repair shop since it was under different ownership. Mr. Crews stated the applicant had provided information that the billboard on the site was subject to a lease with a third-party and couldn't be removed at this time. Mr. Crews stated staff had drafted ten recommended conditions if the Commission recommends approval.

Vice-Chair Cannon opened the floor for public comment.

William Talley, 146 North Sycamore Street, stated he was confused over why the billboard could not be removed if the applicant owns the property. Mr. Talley stated the site does not appear large enough for the proposed use and stated the existing chain-link fence around the property is unattractive. Mr. Talley noted that both Orchard Street and Alleghany Avenue, which border the property, are unimproved streets.

Rodney Tucker, 121 North Plains Drive stated he supports the request, noting the fencing is necessary for safety purposes. Mr. Tucker suggested using an ornamental fence in its place. Mr. Tucker stated the existing business benefits the community and that the cars on the property are being worked on and not abandoned.

Marlow Jones Jr., Purecraft Homes, stated he is the architect and designer for the applicant. Mr. Jones stated they would be willing to do a nicer-looking fence. Mr. Jones stated he and the applicant are willing to work with neighbors to ensure a good project and attractive site.

With no further comments, Vice-Chair Cannon closed the public hearing.

- c. **2025-REZ-06:** Consideration of a resolution recommending approval of a request by Alexander Graham, Jr., on behalf of the Warrenton Group, to rezone property at 2088 Defense Road, 1918 Townes Road, and 1926 Bogese Drive, Parcel IDs 070080002, 069070001, 077010801, from the A Agricultural and R-1A Single-Family Residence Zoning Districts to the M-1 Light Industrial Zoning District with proffers and to amend the existing proffers for property at 2233 Halifax Road, Parcel ID 076030800, in the M-1 Light Industrial Zoning District

Mr. Crews presented an overview of the request, explaining the property at 2233 Halifax Road was rezoned to the M-1, Light Industrial District for the purpose of constructing a data center campus earlier in the year subject to several proffered conditions. Mr. Crews stated due to challenges identified during site design, including providing access to the site from Halifax Road and avoiding wetland impacts, the applicant is looking to extend the rezoning and amend the proffers to apply to the additional properties at 2088 Defense Road, 1918 Townes Road, and 1926 Bogese Drive.

Mr. Crews noted the data center development would remain within the same general footprint on 2233 Halifax Road, but the additional parcels had been acquired to provide an entrance to the site from Defense Road and emergency egress onto Townes Road. The additional parcels would also serve as buffer area and allow for wetland mitigation if needed. Mr. Crews explained the proposed amendments to the existing proffers as well as additional proffers being proposed by the applicant.

Vice-Chair Cannon opened the floor for public comment.

Elvin Edmonds, 1950 Dodson Road stated the proposal will have a direct impact on the surrounding neighborhood and the property was the wrong place for industrial development. Mr. Edmonds stated the area already has drainage issues and he believes the proposed buffer around the data center campus is insufficient to deal with noise concerns.

Claudia Kitchen, 1983 Dodson Road, stated she would like the subject properties to remain undeveloped, noting the presence of wildlife and Native American artifacts on the land.

Greg Kitchen, 1983 Dodson Road, stated he wants the area to retain a residential feel. Mr. Kitchen stated he does not believe the data center use is compatible with the surrounding area and the proposed buffer is not large enough to mitigate noise and visual impacts.

Theresa Mills, 1982 Dodson Road, stated she agrees with the comments that the area should remain residential and the data center is incompatible with the surroundings.

Charles Bullock, 1842 Powhatan Avenue, stated he was in the process of purchasing the property at 2086 Defense Road which adjoins the proposed site entrance. Mr. Bullock stated he didn't believe there would be room to install the access drive or enough room for construction traffic during site development. Mr. Bullock stated he had concerns about drainage and flooding in the area and stated an environmental study and information from the railroad was needed. Mr. Bullock stated the city does not have many residential subdivisions and the existing subdivisions need to be protected.

Kenya Williams, 1822 Bogese Drive, stated she was unhappy with the request and is worried about noise and other impacts from the data center. Ms. Williams stated the rezoning of 2233 Halifax Road was approved without her knowledge and now the applicant is seeking to expand the use.

Chuck Williams, 1822 Bogese Drive, stated he was concerned with traffic near the underpass as well as construction traffic entering the site from Defense Road. Mr. Williams noted the community is mostly elderly and already deals with noise impacts from the industrial park.

With no further comments, Vice-Chair Cannon closed the public hearing.

## **7. Discussion/Action:**

- a. **2025-SUP-06:** Consideration of a resolution recommending approval of a request by Donte Threatt, on behalf of Sweet Investments VA LLC, for a special use permit to operate a nightclub at 2793 South Crater Road, Parcel ID 065110004, in the B-2 General Commercial District

The applicant, Donte Threatt, was present and offered to answer any questions from the Commissioners. He stated proposed club would have hours of operation on Wednesday through Sunday nights generally from 4:00 p.m. to 2:00 a.m. Mr. Threatt said he owned other businesses in the city and was committed to keeping the property clean and orderly without causing impacts to neighbors. Mr. Threatt also explained the soundproofing of the building, noting that he could provide additional soundproofing features on the back side of the building which faces the apartments.

The Commission raised concerns with the site being kept clean, particularly after events. Commissioner Katzenbach asked if any consideration was given to the hours of operation and whether they might conflict with church activities on neighboring properties. The Commission also asked what would happen when the Elite Horseman and the new club operated at the same time and whether there was enough parking for both clubs.

Commissioner Katzenbach also mentioned she was concerned staff wouldn't be able to track compliance with the conditions of approval and suggested a monthly report to track compliance.

Commissioner Bland motioned to table the request until the next regular meeting and suggested the applicant reach out to neighboring properties to try to address any conflicts between uses. Commissioner Norman seconded the motion, which passed unanimously.

- b. **2025-SUP-07:** Consideration of a resolution recommending approval of a request by Pedro Rosario for a special use permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road, Parcel ID 101090005, in the B-2, General Commercial Zoning District

The applicant, Pedro Rosario, was present and explained that he would no longer be operating his shop at 3851 South Crater Road. He stated he is looking to open up the new facility next door on the property he owns. Mr. Rosario acknowledged that there are several vehicles on both sites currently due to Department of Motor Vehicle requirements for abandoned vehicles and he would work on cleaning the property up. Mr. Rosario stated the new facility would only repair vehicles brought to the site by customers and would not involve any wrecked or junk vehicles being abandoned. Mr. Rosario said that the billboard could not be removed from the property while the third-party lease is still active.

The Commission discussed concerns with the current state of the property and the number of vehicles stored on the site and asked for clarification on when these vehicles would be removed. The Commission also discussed the importance of having attractive land uses at the city's gateways, noting the chain link fence on the property as well as the potential of having two automobile repair shops next to each other at the gateway. The Commission requested additional information and clarity on what screening and landscaping would be provided if the special use permit is approved.

Commissioner Katzenbach motioned to table the request until the next regular meeting to give the applicant the opportunity to address the concerns and provide additional information. Commissioner Bland seconded the request, which passed unanimously.

- c. **2025-REZ-06:** Consideration of a resolution recommending approval of a request by Alexander Graham, Jr., on behalf of the Warrenton Group, to rezone property at 2088 Defense Road, 1918 Townes Road, and 1926 Bogese Drive, Parcel IDs 070080002, 069070001, 077010801, from the A Agricultural and R-1A Single-Family Residence Zoning Districts to the M-1 Light Industrial Zoning District with proffers and to amend

the existing proffers for property at 2233 Halifax Road, Parcel ID 076030800, in the M-1 Light Industrial Zoning District

Adam Weers, representative of the Warrenton Group, was present and stated he wanted to clarify that the data center use would not be expanding and the additional parcels proposed to be added to the site will only be used for access and potentially wetland mitigation. Mr. Weers noted that the updated proffers increased the minimum buffer size from residential properties to 125 feet and committed the developer to exceeding overall tree canopy coverage and parking lot greenspace requirements. Mr. Weers stated traffic into and out of the proposed development would be limited to the access drive except in case of emergency and additional traffic onto Townes Road was not intended.

Commissioner Katzenbach stated she had several questions she would like to raise to the developer including why the developer was not attempting to utilize density by building vertically rather than spreading buildings out, why the developer was not aware of the issues such as the challenges with access and the presence of wetlands when the original request was considered, how many jobs would be created for Petersburg residents, and whether Amtrak was planning to introduce a line passing by the subject property. Commissioner Katzenbach stated she also still had concerns about the noise levels from the proposed data center, the water usage of the facility, and the potential impacts from high-powered lighting.

Commissioner Bland motioned to table the request until a future date and suggested the applicant hold a meeting to listen to and address the concerns of the community prior to bringing the request back for a vote. Commissioner Norman seconded the motion, which passed unanimously.

#### **8. Old Business:**

There was no old business discussed.

#### **9. New Business:**

The discussion item under new business was removed from the agenda due to time constraints.

#### **10. Secretary/City Staff Reports:**

Mr. Crews noted that the regular meeting for January would be scheduled for January 8<sup>th</sup> since the first Thursday would fall on New Year's Day.

**11. Announcements/Commissioner Reports:**

There were no additional announcements or Commissioner reports.

**12. Adjournment:**

The meeting was adjourned at 8:21 p.m. on motion by Commissioner Norman.

\_\_\_\_\_  
Planning Commission Chair

\_\_\_\_\_  
Date

Planning Commission Attendance 2025																					
	January	February	February SP	March	March SC	April	April WS	May	May/June WS	June	June WS	July	July WS	August	September SP	September	September WS	October	October Sp	November	December
Alvin Cannon	P	P	P	P	NR	P	P	P	A	A	P	P	A	NM	P	NM	NQ	NQ	P	P	P
Fenton Bland	P	P	P	P	NR	P	P	P	P	P	P	P	A	NM	P	NM	NQ	NQ	P	P	P
Thomas Hairston	A	P	A	A	P	P	P	A	A	P	P	P	A	NM	P	NM	NQ	NQ	P	A	A
James Norman	P	A*	P	P	NR	P	P	A	P	P	A	P	A	NM	P	NM	NQ	NQ	P	P	P
Dianne Harley	P	A	P	P	NR	P	P	P	P	P	P	P	P	NM	P	NM	NQ	NQ	A	P	A
Tony McDaniel	P	P	P	A	P	A	P	A	A	A	A	A	P	NM	P	NM	NQ	NQ	A	A	P
Kirsten Katzenbach	P	P	P	P	P	P	P	P	P	P	P	P	A	NM	P	NM	NQ	NQ	P	P	P
Daquan Reinhardt	P	P	A	P	P	A	P	A	P	P	P	A	A	NM	A	NM	NQ	NQ	P	P	A
Marshall Ford	A	P	P	P	NR	P	A	A	A	A	A	P	P	NM	P	NM	NQ	NQ	P	P	A
P=Present	A=Absent	NM=No Meeting	NR=Not Required	NQ= No Quorum																	
*Attended Virtually																					



# City of Petersburg

## MEMORANDUM

**DATE:** January 8, 2026

**TO:** Planning Commission

**FROM:** Planning and Community Development

**RE:** 2025-SUP-05: Consideration of a resolution recommending approval of a request by Raymond Akoury, on behalf of RGC Investments C/O Hotrod Motorsports, for a special use permit for multiple-family dwellings as authorized and controlled by the R-5 Multiple Dwelling District Standards at 1325 West Washington Street, Parcel ID 024230005, in the B-2 General Commercial District.

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### EXECUTIVE SUMMARY

The applicant is seeking to construct seven townhouse-style apartment units in the B-2, General Commercial Zoning District. A special use permit is required for multi-family housing in the B-2 District and the use, if permitted, will be subject to the area regulations of the R-5, Multiple Dwelling District as well as any conditions recommended by Planning Commission and accepted by City Council. The property is designated a Historic Core Neighborhood on the Future Land Use Map of the PetersburgNEXT Comprehensive Plan. Staff is recommending approval of the request with conditions.

### CHRONOLOGY OF EVENTS

1. December 9, 2025 – Application for special use permit received

### BACKGROUND

The subject property is an approximately 0.40-acre double-frontage lot located between the north side of West Washington Street and the south side of Hinton Street. The property is in the B-2, General Commercial Zoning District and is currently undeveloped. The applicant is seeking to construct seven townhouse-style apartments units. A special use permit is required for multiple-family dwellings in the B-2 District and, if approved, those dwellings are subject to the area and density standards of the R-5, Multiple Dwelling District.

The application was accompanied by a concept plan showing the proposed layout of the site. Access into the property would be provided from West Washington Street; vehicular access from Hinton Street would be restricted according to the requirements of the City's

Subdivision Ordinance. The proposed apartments are shown in one block of three and one block of four side-by-side units. An approximately 1,325 square-foot common area is shown on the north side of the site. The plan also identifies the proposed off-street parking area which includes fourteen spaces and several light fixtures throughout. The plan indicates a wooden fence will be constructed around the perimeter of the property.

The application was also accompanied by elevations and floor plans for the proposed units. The units are two stories and approximately 1,300 square feet with a living room, kitchen, and dining area on the first floor and two bedrooms and two bathrooms on the second floor. The units include eight-foot-wide by four-foot-long covered front porches as well as 152-square-foot rear patio areas separated by privacy fences. The exterior of the buildings are shown with dimensional asphalt shingle roofs and horizontal vinyl siding. The plans note that vinyl windows and metal doors will be used.

Per Article 23 of the Zoning Ordinance, City Council may grant approval of special use permits when the public health, safety, moral and general welfare will not be adversely affected, and provided that necessary safeguards will be provided to protect surrounding property, persons, and neighborhood values. If the special use permit is approved, the property would be subject to all additional City Code requirements prior to construction, including site plan and building permit review. Compliance with all Zoning Ordinance requirements, including landscaping, architectural treatment, and parking would be verified through the review process.

#### **Staff Considerations:**

Following review of the application and plans, staff have noted several points that warrant consideration:

- The proposed development meets the minimum requirements for the number of off-street parking spaces, which is two per unit, but demand for parking in multi-family developments sometimes exceeds what the Zoning Ordinance requires, particularly when guest parking is factored in. On-street parking is available on West Washington and Hinton Streets, but depending on volume, additional vehicles parked on the streets daily could cause conflicts.
- The City recently adopted new requirements for landscaping in off-street parking areas as well as minimum tree canopy coverage for new development. For this site, several planting islands would be required throughout the parking area and approximately 2,600 square feet of the site would need be covered by tree canopy at 20-years maturity. The site is somewhat constrained by its size and shape, and it may be difficult to meet the landscaping requirements with the number of units and required parking spaces.
- While the building materials proposed are not prohibited by the Zoning Ordinance, staff would generally encourage the use of higher quality materials, particularly for the siding and windows. The use of fiber cement siding like Hardie Board and aluminum-clad or composite wood windows rather than vinyl would provide more durability and longevity as well as aesthetic value.
- The concept plan identifies the common area, but does not reference any resident amenities, which staff would encourage. Examples of appropriate amenities for multi-family developments could include areas for gathering such as patios or tables, a playground area, or a garden area. The common area should also include landscaping.

## **ADJACENT ZONING/USES**

Land immediately to the south, east, and west of the subject property is also within the B-2, General Commercial Zoning District and property to the north across Hinton Street is within the R-3, Two-Family Residence Zoning District. There is a range of uses on the neighboring properties along West Washington Street. These uses primarily include commercial and office buildings, some of which are currently vacant, but there are several residential uses on neighboring blocks to the east which are zoned R-3. Neighboring properties along Hinton Street are primarily residential including a mix of single-family and two-family residences.

## **COMPREHENSIVE PLAN CONSIDERATIONS**

The subject property is located within a Historic Core Neighborhood area on the Future Land Use Map of the Comprehensive Plan. The Comprehensive Plan describes Historic Core Neighborhoods as areas located in the heart of Petersburg which directly reflect the city's historic development pattern. According to the plan, "the overall age, development pattern, and scale make Petersburg's historic core neighborhoods special places worthy of preservation." The property is also located along a designated major Corridor where the plan emphasizes the importance of a consistent streetscape to maximize the potential of appealing to visitors and residents.

Multi-family dwellings and infill development are listed as primary land use in Historic Core Neighborhoods and the plan emphasizes the need to ensure that new development fits the scale, proportion, and character of any existing development patterns. Other development principles include providing a variety of housing types to accommodate a range of income levels, providing or enhancing pedestrian and bicycle accommodations, and preserving existing tree canopy or providing new plantings where necessary.

Goal Statement 4 of the Comprehensive Plan reads "Petersburg will be a city where all housing and neighborhoods are attractive, safe, and accessible to all residents." One of the key objectives under this goal is to facilitate the provision of a diverse, safe, attainable, and high-quality housing stock in all neighborhoods, which includes supporting "missing middle" housing options.

In general, the Comprehensive Plan provides support for multi-family development on the subject property. The proposed development would not conflict with the scale of development in the surrounding areas and would provide additional housing options. As noted above, staff have shared some concerns over the constrained size of the site and the ability to completely meet the intent of some of the development principles of the Comprehensive Plan, particularly the provision of amenities and landscaping on the site.

## **PUBLIC INPUT**

As of the writing of this report, staff have received no telephone calls, emails, or letters in support of or in opposition to the request.

## **RECOMMENDATION**

Staff recommends approval of the request assuming that the developer can meet minimum zoning requirements and subject to the following conditions:

- 1) The property shall be developed in substantial accordance with the Concept Plan prepared by Baseline Land Surveying dated August 11, 2023 with revision date October 27, 2025 and the elevations prepared by Price Designs Inc. dated March 8, 2025 with revision date December 8, 2025.
- 2) During site development, sidewalk along the frontages of West Washington Street and Hinton Street shall be repaired and/or replaced as necessary to meet current standards and requirements of the Department of Public Works.
- 3) Access to the site shall be limited to the West Washington Street frontage. The entrance shall be designed and constructed in accordance with the standards of the Department of Public Works.
- 4) The site shall meet minimum landscaping requirements as provided in the Zoning Ordinance, including parking lot plantings and overall tree canopy coverage. Street trees shall be provided along both street frontages except where the site entrance and sight distance visibility requirements may preclude plantings. A plan identifying the landscaping features shall be provided to the City Arborist for approval at the time of site plan review and the features shall be installed prior to the issuance of any Certificate of Occupancy for the property.
- 5) The developer shall provide at least one (1), multi-loop bicycle parking rack for each building.
- 6) The common area shall include outdoor seating areas, including benches and tables, as well as at least one (1) of the following outdoor resident amenities: gardening area(s), gazebo(s), or playground. A plan identifying such amenities shall be provided to the Planning Department for review and approval prior to approval of a site plan for the development.
- 7) The development shall include on-call management and maintenance staff as well as on-site security surveillance.
- 8) Off-street parking spaces shall be limited to residents only with two (2) parking spaces assigned to each unit.
- 9) This permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

## **ATTACHMENTS**

Presentation

Resolution

Application

Concept Plan

Elevations and Floor Plans

Zoning Map and Future Land Use Map

R-5 District Regulations

Comprehensive Plan Excerpt on Historic Core Neighborhoods

Adjoining Property Owners List

PLANNING  
COMMISSION  
MEETING

JANUARY 8,  
2026

*Petersburg*  
VIRGINIA

## 2025-SUP-05:

Consideration of a resolution recommending approval of a request by Raymond Akoury, on behalf of RGC Investments C/O Hotrod Motorsports, for a special use permit for multiple-family dwellings as authorized and controlled by the R-5 Multiple Dwelling District Standards at 1325 West Washington Street, Parcel ID 024230005, in the B-2 General Commercial District

# Subject Property

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# Request and Background

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- Subject property is 0.4 acres located in B-2, General Commercial District
- Double frontage lot between West Washington and Hinton Streets
- Applicant seeking to construct seven townhouse-style apartment units
- Special use permit required multi-family in B-2 District; subject to density and area standards of R-5 District





*Petersburg*  
VIRGINIA

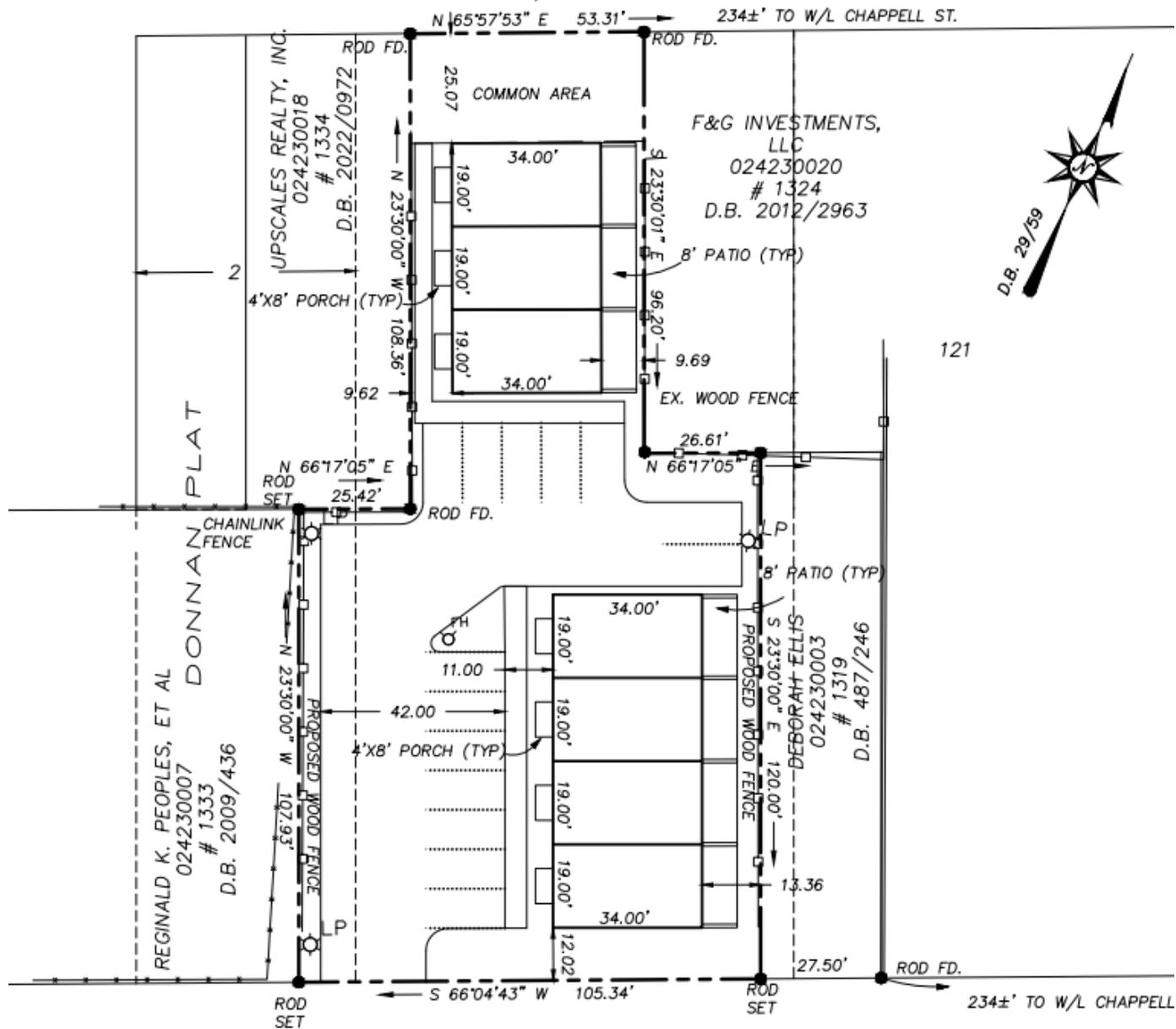
# Proposal

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- Townhouse style units are two stories with two bedrooms each, approximately 1,300 square feet
- Each unit includes covered front porch and rear patio with privacy fences between units
- Site access provided from West Washington Street; access limited from Hinton Street
- Site includes one block of three units, one block of for units, parking area, and 1,325 s.f. common area; wooden fence around property perimeter

# HINTON STREET

60' R/W



# WEST WASHINGTON STREET

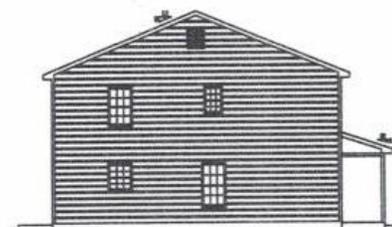
VARIABLE WIDTH R/W

Petersburg  
VIRGINIA



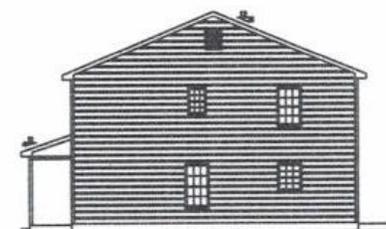
Rear Elevation

Scale 1/4"=1'



Left Elevation

Scale 1/8"=1'



Right Elevation

Scale 1/8"=1'



Front Elevation

**JOB SPECS:**

FOOTING CONCRETE 3000# PSI  
SLAB CONCRETE 3000# PSI OVER 1/2" MIL POLY  
2x4 STUD WALLS BOTH FLOORS w/ 8FT CEILING  
8-7/8" FLOOR JOIST FOR 2nd FLOOR  
PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C.  
28 TR DIMENSIONAL SHINGLES OVER 1/2" FELT OVER 7/16" OSB ROOF SHEATHING  
EXTERIOR WALLS COVERED WITH HORIZONTAL VINYL SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING  
ALL EXTERIOR DOORS TO BE METAL WITH ALUMINUM THRESHOLDS AND WEATHER SEALED GASKETS  
ALL WINDOWS ARE VINYL WITH TILT FEATURES AND SCREENS  
INTERIOR FINISHES WITH DRYWALL AND PAINT ALONG WITH PAINTED INTERIOR DOORS AND PAINTED TRIM FLOORING TO BE DETERMINED

# Staff Considerations

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- Proposed development meets minimum requirements for off-street parking, but demand is sometimes higher for multi-family development
- The plans do not show landscaping, but site would be required to meet newly adopted parking lot landscape and overall canopy coverage requirements
- Building materials are not listed as prohibited, but staff would encourage use of higher quality materials, particularly for siding and windows
- The plan does not include information on resident amenities within common area

# Adjoining Zoning/Uses

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# Comprehensive Plan Considerations

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- Designated as Historic Core Neighborhood on Future Land Use Map;
  - Areas in the heart of the city that reflect city's historic development pattern
  - Multi-family residences and infill development are listed as primary uses, but plan emphasizes need to fit the scale, proportion, and character of existing development
  - Development principles include providing range of housing options, providing and enhancing pedestrian/bikeway networks, and preserving or planting trees
- Goal Statement 4 reads "Petersburg will be a city where all housing and neighborhoods are attractive, safe, and accessible to all residents"
  - Key objective is to facilitate diverse, safe, attainable, and high-quality housing stock and supporting "missing middle" housing options

# Proposed Conditions

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1. The property shall be developed in substantial accordance with the Concept Plan prepared by Baseline Land Surveying dated August 11, 2023 with revision date October 27, 2025 and the elevations prepared by Price Designs Inc. dated March 8, 2025 with revision date December 8, 2025.
2. During site development, sidewalk along the frontages of West Washington Street and Hinton Street shall be repaired and/or replaced as necessary to meet current standards and requirements of the Department of Public Works.
3. Access to the site shall be limited to the West Washington Street frontage. The entrance shall be designed and constructed in accordance with the standards of the Department of Public Works.
4. The site shall meet minimum landscaping requirements as provided in the Zoning Ordinance, including parking lot plantings and overall tree canopy coverage. Street trees shall be provided along both street frontages except where the site entrance and sight distance visibility requirements may preclude plantings. A plan identifying the landscaping features shall be provided to the City Arborist for approval at the time of site plan review and the features shall be installed prior to the issuance of any Certificate of Occupancy for the property.

# Conditions cont.

---

5. The developer shall provide at least one (1), multi-loop bicycle parking rack for each building.
6. The common area shall include outdoor seating areas, including benches and tables, as well as at least one (1) of the following outdoor resident amenities: gardening area(s), gazebo(s), or playground. A plan identifying such amenities shall be provided to the Planning Department for review and approval prior to approval of a site plan for the development.
7. The development shall include on-call management and maintenance staff as well as on-site security surveillance.
8. Off-street parking spaces shall be limited to residents only with two (2) parking spaces assigned to each unit.
9. This permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

# Planning Commission Options

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- Recommend approval of special use permit with conditions as drafted
- Recommend approval of special use permit with amended conditions
- Recommend denial of the special use permit

Staff Recommendation: Approval with conditions as drafted

**A RESOLUTION RECOMMENDING APPROVAL OF A PETITION FOR A SPECIAL USE PERMIT FOR  
MULTIPLE-FAMILY DWELLINGS AS AUTHORIZED AND CONTROLLED BY THE R-5 MULTIPLE DWELLING  
DISTRICT STANDARDS AT 1325 WEST WASHINGTON STREET PARCEL IDENTIFICATION NUMBER  
024230005 IN THE B-2, GENERAL COMMERCIAL DISTRICT.**

WHEREAS, the City of Petersburg Zoning Ordinance establishes zoning districts and permitted uses within each district and multi-family development is permitted with a special use permit in the B-2, General Commercial District; and

WHEREAS, the City received a petition from Raymond Akoury., on behalf of RGC Investments C/O Hotrod Motorsports, owner of property at 1325 West Washington Street for a special use permit pursuant to Article 23) of the Zoning Ordinance to construct a 14 multiple-family units subject to the regulations of the R-5 Multiple Dwelling District; and

WHEREAS, the PetersburgNEXT Comprehensive Plan designates the property as a Historic Core Neighborhood on the Future Land Use Map and multi-family dwellings and infill development are appropriate as long as the development matches the scale, proportion, and character of existing development; and

WHEREAS, the Comprehensive Plan is supportive of increasing the city's housing stock and providing a variety of housing types for residents with a range of income levels; and

WHEREAS, Planning Staff have made recommendations for several conditions to ensure that the proposed development of the property would be in conformance with the Zoning Ordinance and Comprehensive Plan;

WHEREAS, pursuant to the requirements of Titles 15.2-2204 and 15.2-2285 of the Code of Virginia, as amended, a public hearing was advertised and held, in accordance with applicable laws.

**NOW THEREFORE BE IT RESOLVED** that Planning Commission does hereby recommend approval of a petition for a Special Use Permit for multiple-family dwellings as authorized and controlled by the R-5 Multiple Dwelling District standards at 1325 West Washington Street subject to the following conditions:

1. The property shall be developed in substantial accordance with the Concept Plan prepared by Baseline Land Surveying dated August 11, 2023 with revision date October 27, 2025 and the elevations prepared by Price Designs Inc. dated March 8, 2025 with revision date December 8, 2025.
2. During site development, sidewalk along the frontages of West Washington Street and Hinton Street shall be repaired and/or replaced as necessary to meet current standards and requirements of the Department of Public Works.
3. Access to the site shall be limited to the West Washington Street frontage. The entrance shall be designed and constructed in accordance with the standards of the Department of Public Works.
4. The site shall meet minimum landscaping requirements as provided in the Zoning Ordinance, including parking lot plantings and overall tree canopy coverage. Street trees shall be provided along both street frontages except where the site entrance and sight distance visibility requirements may preclude plantings. A plan identifying the landscaping features shall be

provided to the City Arborist for approval at the time of site plan review and the features shall be installed prior to the issuance of any Certificate of Occupancy for the property.

5. The developer shall provide at least one (1), multi-loop bicycle parking rack for each building.
6. The common area shall include outdoor seating areas, including benches and tables, as well as at least one (1) of the following outdoor resident amenities: gardening area(s), gazebo(s), or playground. A plan identifying such amenities shall be provided to the Planning Department for review and approval prior to approval of a site plan for the development.
7. The development shall include on-call management and maintenance staff as well as on-site security surveillance.
8. Off-street parking spaces shall be limited to residents only with two (2) parking spaces assigned to each unit.
9. This permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

Rec. 6/27/2024



## City of Petersburg

### Department of Planning and Community Development

#### PROCEDURES FOR PETITION FOR SPECIAL USE PERMITS

1. Applicant files petition with the Petersburg Department of Planning and Community Development, City Hall, 135 N Union Street, Petersburg, Virginia 23803.
2. **The Filing fee for Petitions for Special Use Permits is \$1,500.** A Check or Money Order *made payable to the City of Petersburg* is to accompany the application.
3. A Plat of the property must also accompany the petition.
4. The Department of Planning and Community Development Staff will refer the petition to the Planning Commission to hold a public hearing and consideration the petition. Department of Planning and Community Development staff shall advertise the public hearing twice during a fourteen-day period, and the Planning Commission will hold a public hearing, and make a recommendation to the City Council regarding the petition.
5. The City Council schedules then advertises a public hearing regarding the petition.
6. The City Council holds a public hearing then considers the petition with the Planning Commission recommendation and renders a final decision to approve or disapprove the petition.

*PLEASE NOTE: The special use permit process may take up to three months.*

**PETITION FOR SPECIAL USE PERMIT**

RETURN TO: DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
(CITY HALL, THIRD FLOOR, ROOM 304)  
FILING FEE: \$1,500 (CHECK OR MONEY ORDER) AT THE TIME OF SUBMITTAL

CASE NUMBER: \_\_\_\_\_  
APPLICANT: RAYMOND AKOURY  
ADDRESS: 22120 LAKE JORDAN LAUNDING  
N. Dinwiddie VA, 23803

I, RAYMOND AKOURY hereby petition for a special use permit for Multi Family  
at the following described properties:

**A. DESCRIPTION OF PROPOSED USE: (INCLUDE ANY PROPOSED CONDITIONS)**

SEVEN UNIT TOWNHOME APARTMENTS

**B. PROPERTY INFORMATION**

1. Tax Parcel Identification Number(s):

024230005

2. Current Street Address(es) if assigned:

1325 W. WASHINGTON ST.  
PEACERSBURG, VA.

3. Approximate Area:

17464 sq. ft. .401 acres

4. Public Street Frontage:

105' ft.

5. A boundary plat of this property outlining the area to be use must be attached to this petition.

6. The following deed restrictions may affect the use of this property:

N/A

7. Brief:

Said deed restrictions will expire on: N/A

**C. JUSTIFICATION FOR SPECIAL USE PERMIT**

1. The proposed use is in the interest of the public health, safety, morals and general welfare of the community because: (Provide a detailed statement of reasons why the proposed use should be granted).

NEW DEVELOPMENT IS GOOD FOR THE AREA ECONOMICALLY ALSO INCREASE TAX BASE FOR CITY.

2. The material impact of the proposed use will not be detrimental to the public welfare of the City nor to adjacent property owner(s) or properties located within the nearby vicinity because: (Specify reasons to substantiate this statement and/or present ways the impact may be mitigated).

THIS DEVELOPMENT WILL NO WAY IMPACT OF THE AREA IN A BAD WAY

3. The proposed use will be advantageous to the City and benefit the welfare of the general public because: (Specify reasons to substantiate this statement).

IT WILL SHOW MORE GROWTH IN THE AREA AND HELP TO REVITALIZE THE CITY.

4. Describe your experience with developing and maintaining the use in question (Provide references and/or examples).

I'VE BEEN IN THE RESIDENTIAL AND COMMERCIAL DEVELOPMENT AREA FOR SOME FORTY YEARS. DEVELOPED RESIDENTIAL AND COMMERCIAL PROPERTIES IN DINWIDDIE COUNTY

**D. CERTIFICATION:**

The undersigned applicant certifies that they:

(a) are the owner, lessee or agent for (specified in writing)

(b) possess a proprietary interest in (contract or option agreement)

the property(ies) identified within this PETITION FOR SPECIAL USE PERMIT, and that the foregoing information and statements herein provided, and all other information herewith submitted, are in all respects true and correct to the best of their knowledge and belief.

Signed:

Raymond Akoury / Raymond Akoury

Mailing Address:

22170 LAKE JORDAN LANDING  
N. Dinwiddie, VA, 23803

Phone Number:

804-931-0748

Email Address:

APPROVED

\_\_\_\_\_  
City Attorney

TO BE FILED IN THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**ACTION RECORD**

Date Filed (with Planning Department):

6/27/2025

Date of Planning Commission Public Hearing:

9/4/2025  
PC

Planning Commission Action(s):

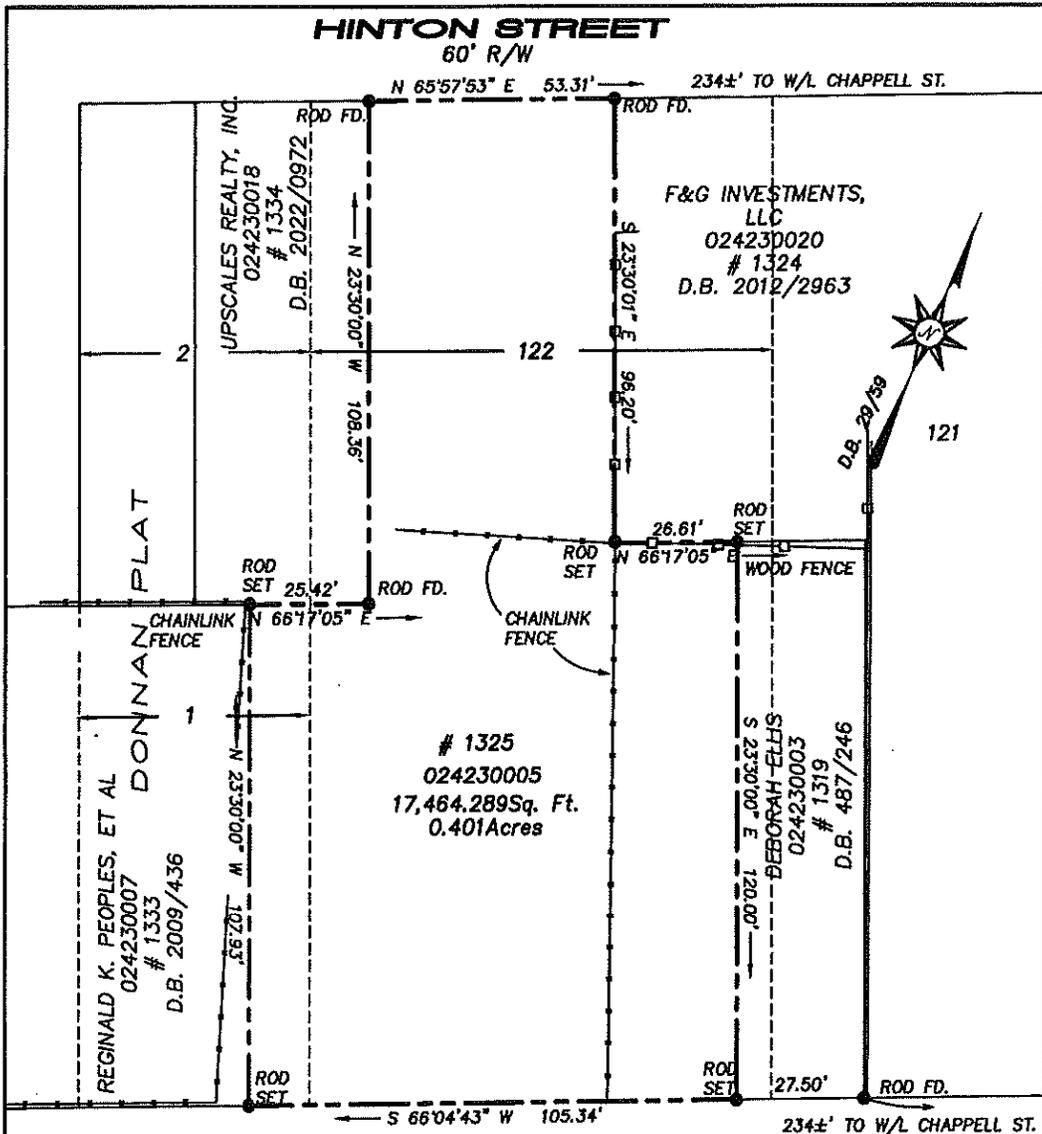
\_\_\_\_\_

Date of City Council Hearing:

10/24/2025

City Council Action(s):

\_\_\_\_\_



**HINTON STREET**  
 60' R/W  
 N 65°57'53" E 53.31' → 234±' TO W/L CHAPPELL ST.  
 ROD FD.

**WEST WASHINGTON STREET**  
 VARIABLE WIDTH R/W  
 ← S 66°04'43" W 105.34' 234±' TO W/L CHAPPELL ST.

**PLAT SHOWING**  
**PART OF LOT 122 ~ WELLS AND**  
**A PART OF LOT 1 DONNAN**  
**PETERSBURG, VIRGINIA**  
**SURVEYED FOR**  
**B & P DEVELOPMENT, LLC**

COMMONWEALTH OF VIRGINIA  
 5/25/23  
 STEPHEN L. BARCENA  
 Lic. No. 1826  
 LAND SURVEYOR

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND IS SUBJECT TO ANY ENCUMBRANCES THAT ONE MAY REVEAL. THIS IS TO CERTIFY THAT ON 5/25/23 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT ALL IMPROVEMENTS KNOWN OR VISIBLE ARE SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES OTHER THAN AS SHOWN HEREON. THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL # 51011200060, DATED 12/13/2022.

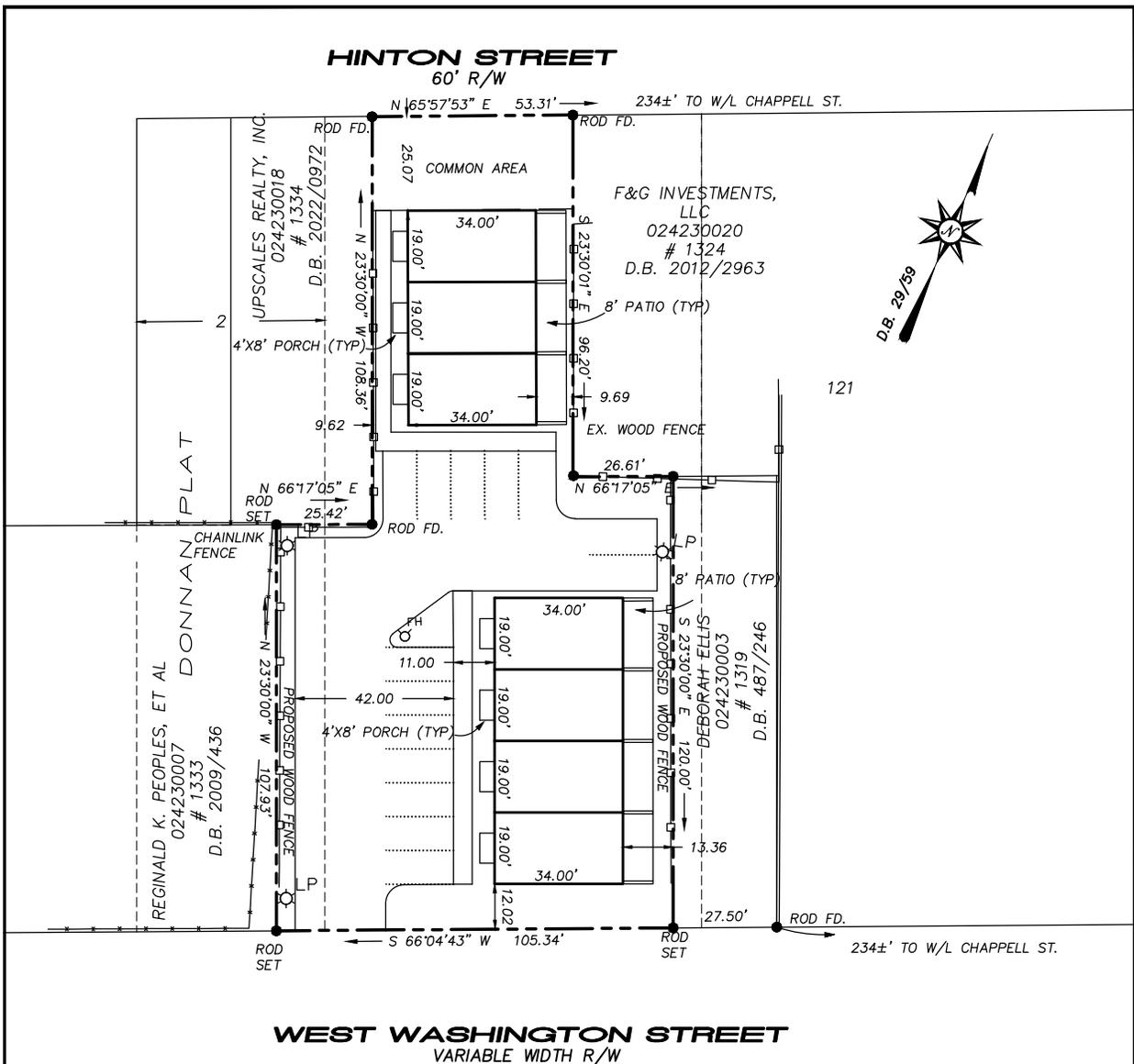
0 30 60

**BASELINE**  
**LAND SURVEYING**  
 526 GROVE AVENUE  
 PETERSBURG, VIRGINIA 23803  
 BLS23803@MSN.COM  
 PH: 804.520.9180 / FX: 804.722.9517

DATE: MAY 25, 2023	SCALE: 1" = 30'
DRAWN BY: SLB	
CHECKED BY:	CALC. CHK.: SLB
JOB NO.: 23638	F.B. OP

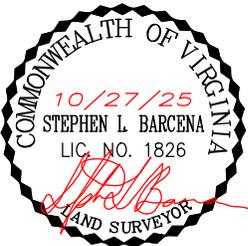
NOT VALID UNLESS SIGNED IN RED  
 PREVIOUS JOB NO.

REV.:



**CONCEPT PLAN SHOWING PROPOSED DEVELOPMENT OF  
AKOURY'S TOWNHOUSE APARTMENTS  
PART OF LOT 122 ~ WELLS AND A PART OF LOT 1 DONNAN  
PETERSBURG, VIRGINIA  
SURVEYED FOR  
RGC INVESTMENTS, LLC**

NOTES:  
 ADDRESS : 1325 W. WASHINGTON STREET  
 TAX I.D. : 024230005  
 ZONING : B-2  
 LEGAL DESCRIPTION : PART OF LOT 122 WELLS  
 & PART OF LOT 1 DONNAN  
 COMPILED FROM SURVEY BY BASELINE LAND  
 SURVEYING, 5/23/23  
 OWNER : RGC INVESTMENTS, LLC  
 RAYMOND AKOURY  
 804-931-0748  
 22120 LAKE JORDAN LANDING  
 N. DINWIDDIE, 23803  
 TOTAL AREA : 0.401 ACRES, 17,464.289 SQ.FT.  
 AREA OF IMPERVIOUSNESS :  
 BUILDINGS, PORCHES, PATIOS: 5810.49 SQ.FT.  
 PARKING AND SIDEWALKS: 7008 SQ.FT.  
 0.724 % IMPERVIOUS  
 NUMBER OF UNITS : 7  
 NUMBER OF PARKING SPACES : 14  
 THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED  
 FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD  
 INSURANCE RATE MAPS, COMMUNITY PANEL # 5101120006D,  
 DATED 12/15/2022.

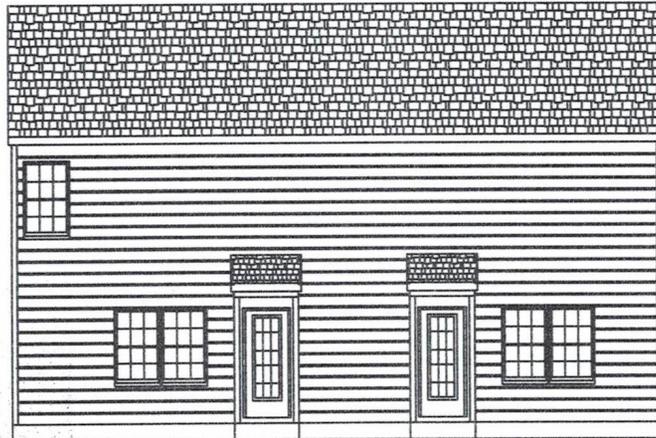


**BASELINE  
LAND SURVEYING**  
 526 GROVE AVENUE  
 PETERSBURG, VIRGINIA 23803  
 BL523503@MSN.COM  
 PH.: 804.520.9180 / FX.: 804.722.9517

DATE: AUGUST 11, 2023	SCALE: 1" = 30'
DRAWN BY: SLB	
CHECKED BY:	CALC. CHK.: SLB
JOB NO.: 23733	

NOT VALID UNLESS SIGNED IN RED  
 PREVIOUS JOB NO. 23638

REVISED 10/27/25



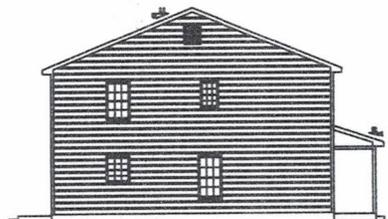
Rear Elevation

Scale 1/4"=1'



Right Elevation

Scale 1/8"=1'



Left Elevation

Scale 1/8"=1'



Front Elevation

Scale 1/4"=1'

**JOB SPECS:**

FOOTING CONCRETE 3000# PSI  
 SLAB CONCRETE 3000# PSI OVER 1/2" MIL. POLY  
 2x4 STUD WALLS BOTH FLOORS w/ 8FT CEILINGS  
 11-7" FLOOR JOIST FOR 2nd FLOOR  
 PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C.  
 50 YR DIMENSIONAL SHINGLES OVER 405  
 FELT OVER 7/16" OSB ROOF SHEATHING  
 EXTERIOR WALLS COVERED WITH HORIZONTAL  
 VINYL SIDING OVER HOUSE WRAP OVER  
 7/16" OSB SHEATHING  
 ALL EXTERIOR DOORS TO BE METAL WITH  
 ALUMINUM THRESHOLDS AND WEATHER SEALED  
 GASKETS  
 ALL WINDOWS ARE VINYL WITH TILT FEATURES  
 AND SCREENS  
 INTERIOR FINISHES WITH DRYWALL AND PAINT  
 ALONG WITH PAINTED INTERIOR DOORS AND PAINTED TRIM  
 FLOORING TO BE DETERMINED

THIS PLAN WAS DESIGNED FOR

RAYMOND AKOURY

THIS  
 PLAN WAS  
 DESIGNED  
 BY

PRICE DESIGNS INC.  
 RESIDENTIAL HOUSE PLAN  
 SERVICES  
 526-4433

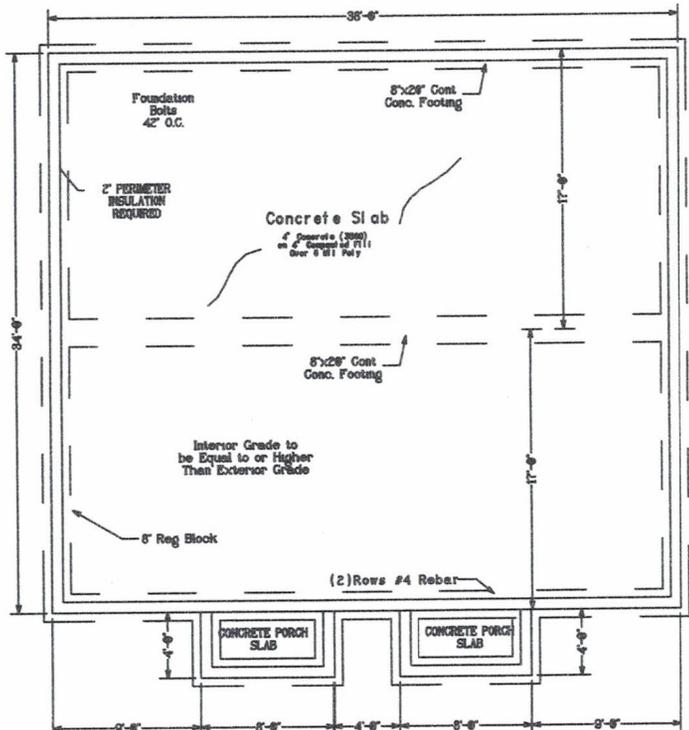


2-STORY  
 ELEVATIONS

REVISED: 12/08/25

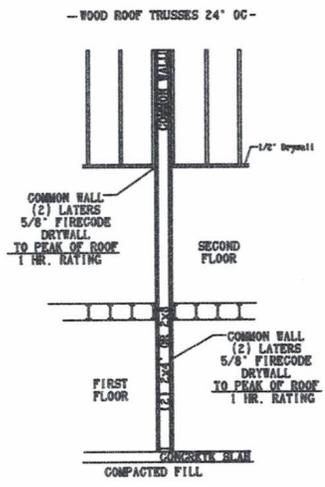
DATE: 03/08/25  
 CODE: 2021 VRC  
 PLANS DRAWN BY  
 SCOTT PRICE

1 of 3

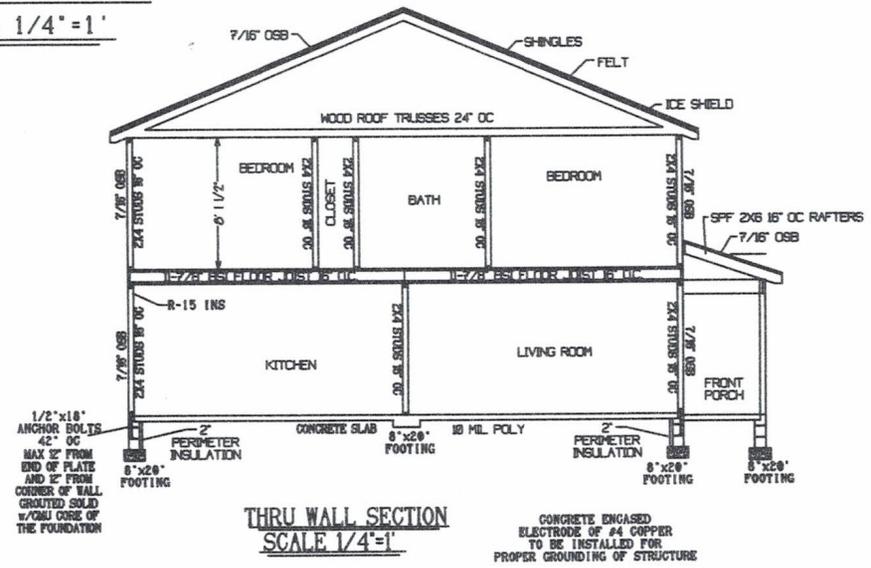
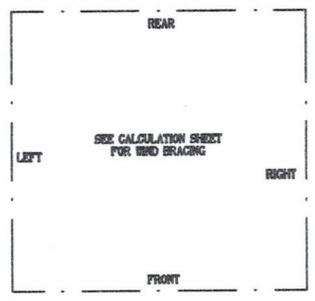


**Foundation Plan**  
Scale 1/4"=1'

NOTE:  
UNLESS OTHERWISE NOTED ALL HEADERS  
ARE AS FOLLOWS  
UNDER 48" - 22cfs  
48" TO 66" - 22cfs  
66" TO 72" - 22cfs  
FOR ALL BEARING WALLS



**Fire Wall Section**  
Scale 1/4"=1'



**THRU WALL SECTION**  
SCALE 1/4"=1'

THIS PLAN WAS DESIGNED FOR  
**RAYMOND AKOURY**

THIS  
PLAN WAS  
DESIGNED  
BY

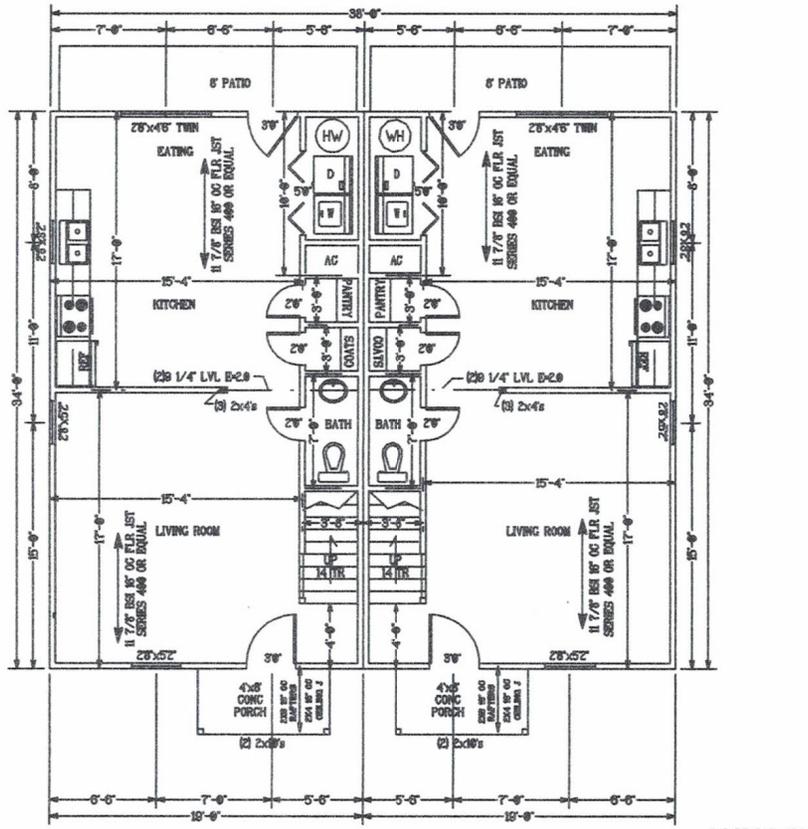
**PRICE DESIGNS INC.**  
RESIDENTIAL HOUSE PLAN  
SERVICES  
526-4433



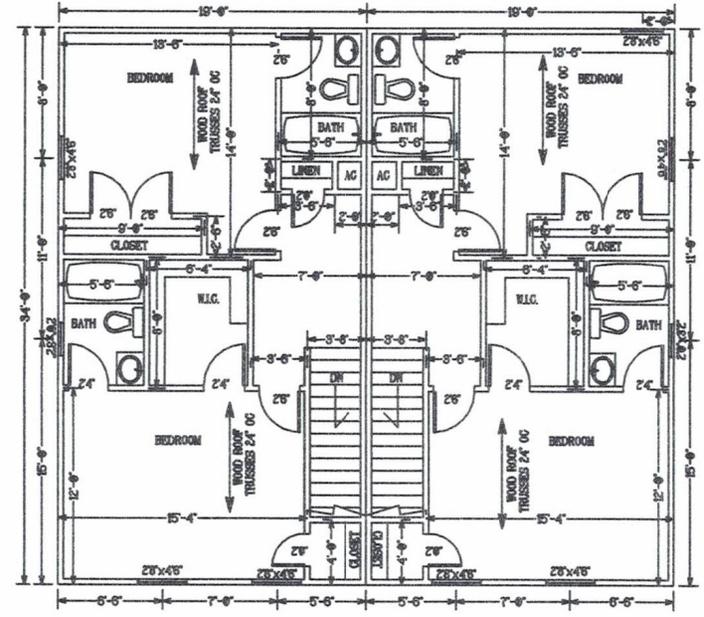
2-STORY  
FOUNDATION

REVISED: 12/08/25  
DATE: 03/08/25  
CODE: 2021 VRC  
PLANS DRAWN BY  
SCOTT PRICE

2 of 3



**First Floor Plan**  
 846 SF. EACH UNIT  
 1692 TOTAL SF.  
 Scale 1/4"=1'



**Second Floor Plan**  
 846 SF. EACH UNIT  
 1692 SF.  
 Scale 1/4"=1'

THIS PLAN WAS DESIGNED FOR  
**RAYMOND AKOURY**

THIS PLAN WAS DESIGNED BY  
**PRICE DESIGNS INC.**  
 RESIDENTIAL HOUSE PLAN SERVICES  
 526-4433



**2-STORY FLOOR PLAN**

REVISED: 12/08/25  
 DATE: 03/08/25  
 CODE: 2021 VRC  
 PLANS DRAWN BY SCOTT PRICE

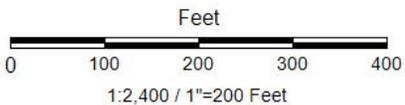
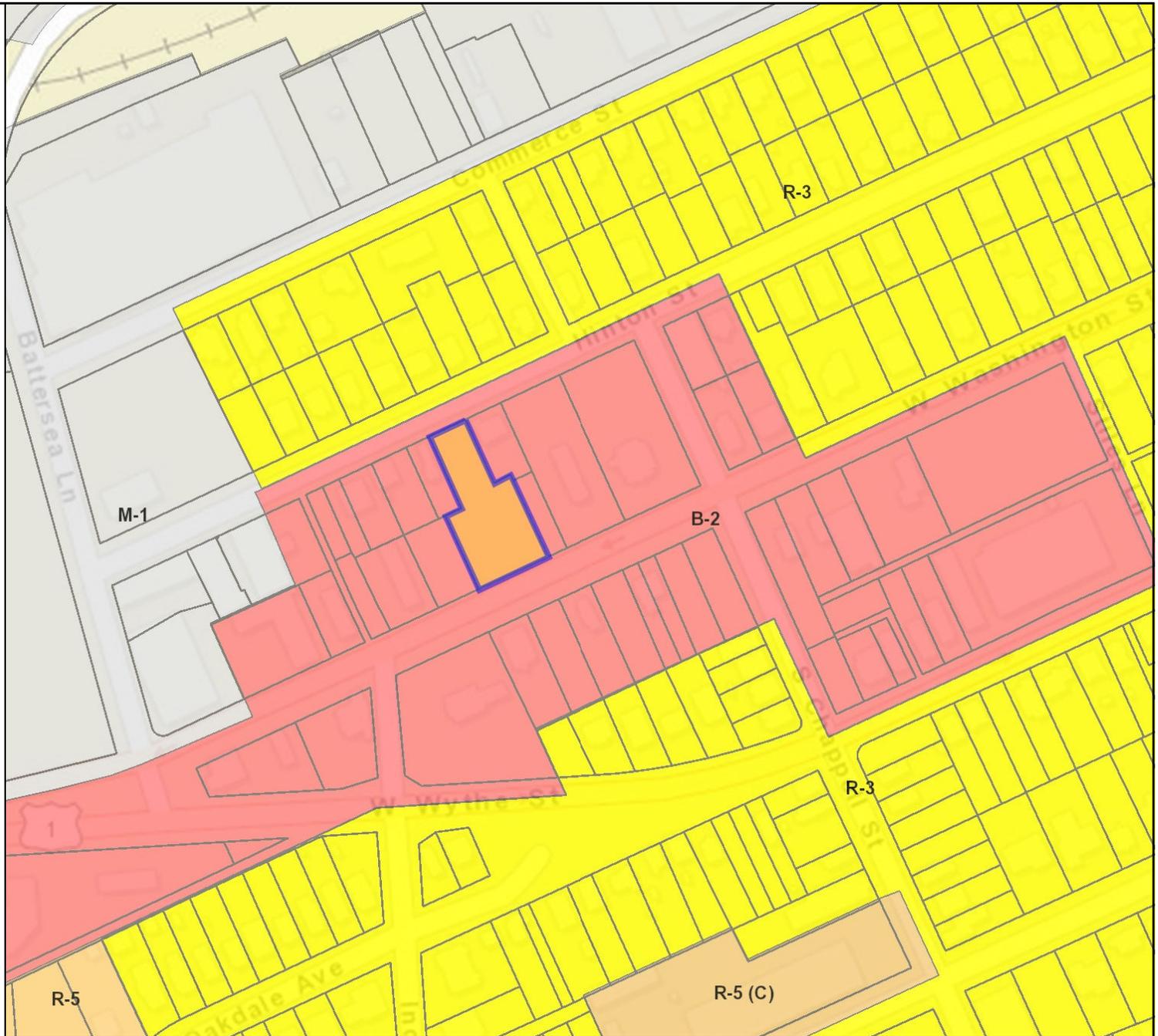
3 OF 3

WIND SPEED (MPH)		115		115		115		115		115		
STORY												
BWL NAME / IDENTIFIER		FRONT		REAR		LEFT		RIGHT				
AVG BWL SPACING (ft)		36		36		34		34				
BRACED WALL PANEL METHOD		CONTINUOUS		CONTINUOUS		CONTINUOUS		CONTINUOUS				
TABULAR REQUIRED (ft)		10.50		10.50		10.00		10.00				
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B		
	EAVE-RIDGE HEIGHT (ft)	8.00	0.94	8.00	0.94	8.00	0.94	8.00	0.94			
	WALL HEIGHT (ft)	8	0.90	8	0.90	8	0.90	8	0.90			
	# BWLs	2	1.00	2	1.00	2	1.00	2	1.00			
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	HORIZONTALLY BLOCKED	YES	1.00	YES	1.00	YES	1.00	YES	1.00			
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
REQUIRED BWP LENGTH (ft)		8.88		8.88		8.46		8.46				
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)								
	SS-GB= 1/2 ACTUAL DS-GB= ACTUAL INTERMITTENT= ACTUAL CS-WSP = ACTUAL CS-PF = 1.5X ACTUAL (enter the contributing length)	1	CS-WSP	4.10	CS-WSP	3.40	CS-WSP	13.60	CS-WSP	13.60		
		2		4.20		6.00		8.40		8.40		
		3		6.00		3.40		6.60		6.60		
		4		4.20								
		5		4.10								
		6										
		7										
ACTUAL BWP LENGTH (ft)		22.60		12.80		28.60		28.60		0.00		
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
BWPs ≤ 20' APART		YES		YES		YES		YES				
LENGTH OF BWL (ft)		>16'		>16'		>16'		>16'				
≥1 BWP ≤ 16', OR ≥ 2 BWP > 16'		YES		YES		YES		YES				
BWP ≤ 10' OF CORNERS		YES	YES	YES	YES	YES	YES	YES	YES			
CONTINUOUS END CONDITION		1	1	1	1	1	1	1	1			
BWL COMPLIANCE (PASS-FAIL)		PASS		PASS		PASS		PASS				

# Petersburg, Virginia

## Legend

- City Boundary
- Parcels
- Zoning**
- A
- B-1
- B-2
- B-2 (C)
- B-3
- B-3 (C)
- ERC
- M-1
- M-1 (C)
- M-2
- MXD1
- MXD2
- MXD3
- PUD
- R-1
- R-1 (C)
- R-1A
- R-1A (C)
- R-2
- R-3
- R-4
- R-5
- R-5 (C)
- R-6
- RB
- RMH
- RTH
- RTH (C)



**Title:**

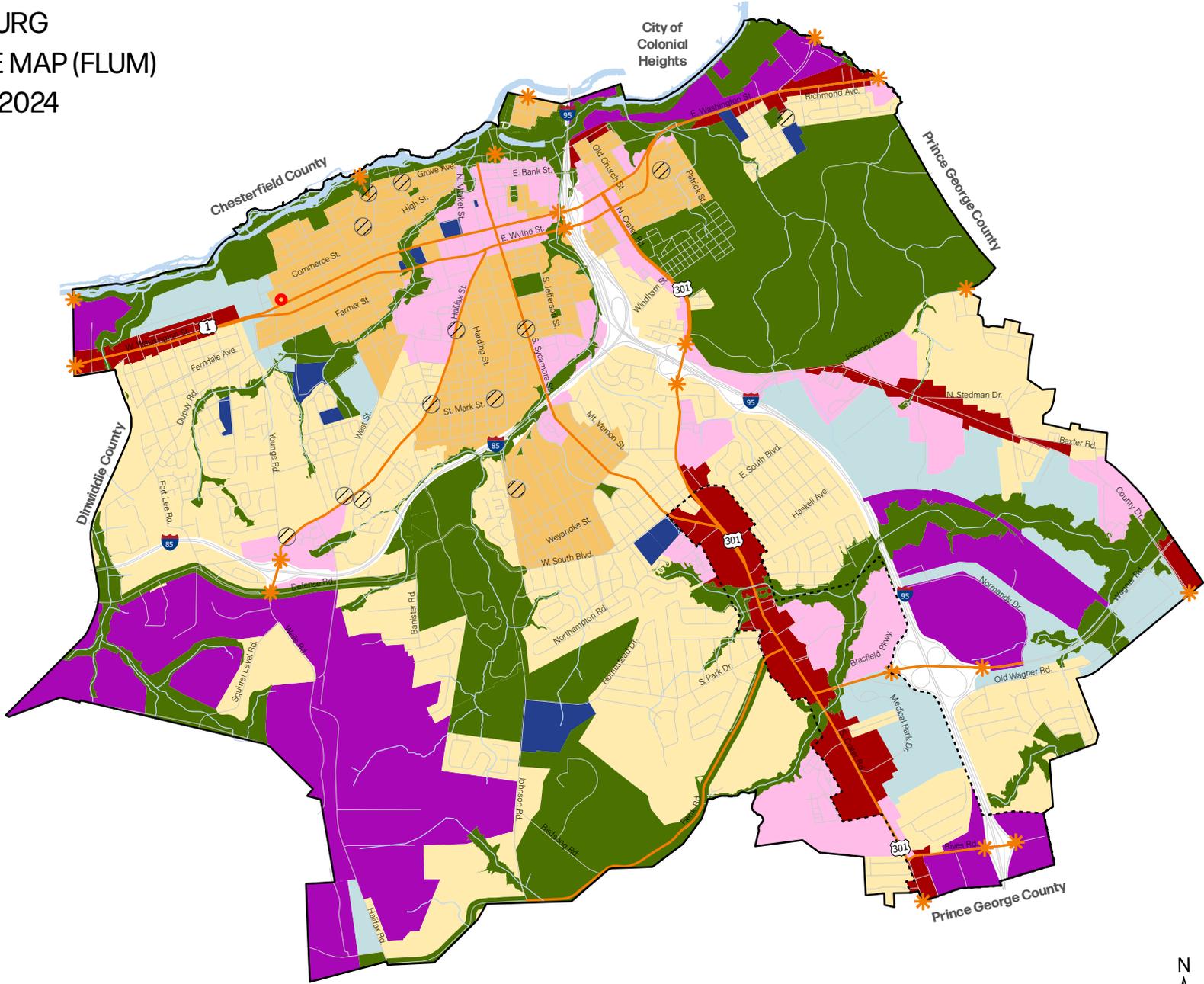
**Date: 12/27/2025**

*DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and City of Petersburg is not responsible for its accuracy or how current it may be.*

**CITY OF PETERSBURG  
 FUTURE LAND USE MAP (FLUM)  
 ADOPTED MAY 21, 2024**

**LEGEND**

-  City Limits
-  Roads
-  Appomattox River
-  Waterways
-  South Crater Urban Development Area (UDA)
-  Historic Core Neighborhoods
-  Community Residential
-  Neighborhood Commercial
-  Community Mixed-Use
-  Corridor Commercial
-  Research and Development
-  General Industrial
-  Civic
-  Conservation and Recreation
-  Gateways
-  Corridors



## **ARTICLE 10. "R-5" MULTIPLE DWELLING DISTRICT REGULATIONS**

### **Section 1. [Purpose.]**

The regulations set forth in this article or set forth elsewhere in this ordinance when referred to in this article, are the regulations in the "R-5" Multiple Dwelling District. This district provides for the highest density multiple-family residence, either in new construction or for conversion of existing dwellings to apartments, in older sections of the city.

### **Section 2. Use regulations.**

A building or premises shall be used only for the following purposes:

- (1) Any use permitted in the "R-1" Two-Family Residence District and the "R-3" Two-Family Residence District;
- (2) Multiple-family dwellings;
- (3) Private clubs, fraternities, sororities, and lodges excepting those the chief activity of which is a service customarily carried on as a business;
- (4) Parking areas (Ground level);
- (5) Accessory buildings and uses not otherwise prohibited in this section;
- (6) Nonprofit religious, educational and philanthropic institutions.

### **Section 3. Height, area and bulk regulations.**

The height, area and bulk requirements shall be as set forth in the chart of article 22 of this ordinance; except:

- (1) Requirements for lot area per family shall not apply to dormitories, fraternities or sororities where no cooking facilities are provided in individual rooms or apartments.

### **Section 4. Reference to additional regulations.**

The regulations contained in this article are supplemented or modified by regulations contained in other articles of this ordinance, especially the following: Article 19, Off-street parking regulations, except that required off-street parking shall be provided in the rear of such buildings or in the portion of the side yards except adjacent to a street, if a corner lot, lying to the rear of extensions of the front line of such building; Article 20, Off-street loading regulations; Article 23, Supplementary use regulations; Article 25, Supplementary height, area and bulk regulations.

## HISTORIC CORE NEIGHBORHOODS

Historic core neighborhoods directly reflect Petersburg's historic development pattern and are generally located in the heart of Petersburg north of Interstate 85 and west of Interstate 95. This development pattern consists of relatively short blocks in a grid orientation, small lots, and residential dwellings in a variety of architectural styles and developed at a moderate density. The overall age, development pattern, and scale make Petersburg's historic core neighborhoods special places worthy of preservation. Revitalization of historic core neighborhoods will serve as a catalyst for revitalization throughout the City.

Development in historic core neighborhoods should continue the existing historic street grid, be sited on compact lots, front on the public right-of-way, and use architecture that is complementary to the historic character of surrounding structures. Single-family attached and detached dwellings, accessory dwelling units, and the adaptive reuse of former single-family structures into triplexes or fourplexes are all appropriate to expand the variety of housing options. Triplexes and fourplexes are appropriate, even if not part of a retrofitted structure, provided they fit the architectural character of the surrounding area. Streetscapes should integrate streetlighting

and landscaping, with separated pedestrian and bicycle infrastructure on higher volume streets. Renovation of existing structures, adaptive reuse, and infill are the most appropriate methods of new construction in historic core neighborhoods due to a high number of blighted properties and few large, vacant lots. All renovations and infill within designated Local Historic Districts should conform to the Historic District Design Guidelines and decisions of the Architectural Review Board (ARB).

### **Primary Land Uses**

- Accessory dwelling units
- Multi-family dwellings
- Parks, open space, trails, and recreational facilities
- Places of worship
- Residential adaptive reuse
- Residential infill development
- Schools and daycares
- Senior housing
- Single-family attached dwellings (e.g., rowhouses, duplexes)
- Single-family detached dwellings
- Triplexes and fourplexes



### **Planning + Development Principles**

- Continue the existing street grid pattern, with new development providing interconnected streets and pedestrian infrastructure where appropriate.
- Direct the preservation, renovation, reuse, and adaptive use of existing structures.
- Protect and enhance historic structures.
- Ensure that both new and infill development fits the scale, size, proportion, and character of any existing development pattern.
- Include a variety of housing types, including accessory dwelling units, to accommodate varying income levels.
- Incorporate pedestrian and bicycle connections and safety enhancements where possible.
- Orient new buildings towards the street.
- Preserve the existing tree canopy and include native plantings when new landscaping is necessary.

<b>Owner</b>	<b>Address</b>	<b>Mailing Address</b>	<b>City, State, ZIP</b>
Deborah Ellis	1319 W Washington St	1741 Ferndale Ave	Petersburg, VA 23803
Douglas Peoples	1322 W Washington St	1328 W Washington St	Petersburg, VA 23803
F&G Investments LLC	1324 Hinton St	6212 Stile Gate Terrace	Moseley, VA 23120
James River Rentals LLC	1318 W Washington St	PO Box 2370	Chester, VA 23831
Loyce Weatherington	1325 Hinton St	1325 Hinton St	Petersburg, 23803
Profreedom Renovations LLC	1329 Hinton St	537 Scott St	Petersburg, VA 23805
Reginald Peoples	1328 W Washington St, 1333 W Washington St	905 Northern Pines Dr	McDonough, GA 30253
RGC Investments C/O Hotrod Motorsports	1325 W Washington St	6751 Beck Chappell Dr	N Dinwiddie, VA 23803
Royal Investment Firm of VA LLC	1331 Hinton St	4501 E Main St Apt 344	Richmond, VA 23231
Upscales Realty LLC	1334 Hinton St	9724 Lockberry Ridge Loop	N Chesterfield, VA 23237



# City of Petersburg

Department of Planning and Community Development  
135 N Union St, Room 304  
Petersburg, VA 23803  
(804) 733-2308

## MEMORANDUM

### UPDATE: NEW INFORMATION IN RED

**DATE:** January 8, 2026

**TO:** Planning Commission

**FROM:** Planning and Community Development

**RE:** 2025-SUP-06: Consideration of a resolution recommending approval of a request by Donte Threatt, on behalf of Sweet Investments VA LLC, for a special use permit to operate a nightclub at 2793 South Crater Road, Parcel ID 065110004, in the B-2 General Commercial Zoning District

### EXECUTIVE SUMMARY:

The applicant is requesting to operate a nightclub at 2793 South Crater Road in the B-2, General Commercial Zoning District. The application was accompanied by a management program and security plan in accordance with the Zoning Ordinance and the proposed use, if permitted will be subject to the general provisions of the Zoning Ordinance as well as any conditions recommended by the Planning Commission and accepted by City Council. The property is designated as Corridor Commercial on the Future Land Use Map of the PetersburgNEXT Comprehensive Plan and staff recommends approval of the request with conditions.

### CHRONOLOGY OF EVENTS:

1. May – October, 2024 – Planning Staff worked with Planning Commission to draft updated regulations pertaining to nightclubs in the City.
2. January 21, 2025 – City Council approved 2024-ZTA-08 and incorporated updated regulation for nightclubs into Zoning Ordinance.
3. October 14, 2025 – Planning staff met with the applicant to discuss the proposed use and the special use permit process.
4. October 29, 2025 - Staff received petition by applicant for special use permit to operate a nightclub at 2793 South Crater Road.
5. **December 4, 2025 – Planning Commission held public hearing on the request.**

## **BACKGROUND:**

The subject property is a 5.375-acre lot located on the east side of South Crater Road and north of Roberts Avenue in the B-2, General Commercial Zoning District. The property can be accessed by an existing entrance from South Crater Road at the signalized intersection of South Crater Road and Flank Road as well as an entrance from Roberts Avenue . The property is developed with two buildings, and the applicant is seeking to operate a nightclub in the larger of the two which is approximately 45,000 square feet. The property includes an existing parking area with approximately 206 parking spaces.

*A nightclub is defined as “an establishment where entertainment, live or otherwise, predominates over food service, becoming the principal use for at least during part of the business's operations, with or without dancing, and typically involving a cover or other charge for admission and event advertising. An establishment that serves alcoholic beverages, that provides live entertainment with live music, a disc jockey and a dance floor and that operates late in the evening later than 11:00 p.m.”*

Per Article 23, Section 4(15) a special use permit must be granted for the operation of a nightclub in the B-2 Zoning District. In general, City Council may approve special use permits when the public health, safety, moral and general welfare will not be adversely affected by a use, and provided that necessary safeguards will be provided to protect surrounding property, persons, and neighborhood values. Article 23 also includes several conditions that will apply to all nightclub uses:

- Alcoholic beverages cannot be served between the hours of 2:00 and 6:00 a.m.
- A menu with food options is to be available while the club is in operation
- No door opening onto or facing a public right-of-way can be propped open
- The club must maintain an active business license and remain current on all taxes
- The operator must submit a management plan and security plan for the club’s operation
- Soundproofing measures must be used to minimize noise so that it can’t be heard beyond an adjoining property boundary
- The special use permit is subject to review after two years to ensure compliance with the conditions and City Code.

As required, the application was accompanied by a management program detailing staffing levels for management, front-of-house, security, and support staff. The management program also includes information on the layout of the proposed club and a floorplan showing the proposed entrance/check-in area, bar, lounge area, dance floor, stage, VIP sections and restrooms. The applicant has verified that the total occupant load will not exceed the number permitted in the Virginia Statewide Building and Fire Codes.

The application also included the required security plan detailing licensing requirements for the security personnel through the Department of Criminal Justice Services. The plan states

security staff will receive annual training in crowd control, conflict de-escalation, emergency evacuation, first aid, and ABC law compliance. The plan details the staffing levels for security which vary based on anticipated occupancy as well as the minimum staffing to be present during all operating hours. The plan states a security supervisor will be present during all shifts. The security plan includes procedures for ensuring compliance with occupancy maximums and implementing crowd control prior to events, during operation, and during closing. Finally, the security plan includes emergency response protocols and means of communication between personnel.

If the special use permit is approved, the site and facilities would be reviewed for compliance with zoning standards, including any conditions of approval for the permit as well as for off-street parking, loading, and signage regulations. Inspections by the Fire Marshal and Code Compliance office would also be required to ensure compliance with the Fire and Building Codes prior to the issuance of a business license and certificate of occupancy for the club.

On December 4, 2025, the Planning Commission held a public hearing on the request. During the public hearing and subsequent discussion, several concerns with the request were raised, including the following:

- Neighboring property owners mentioned issues with the existing Elite Horsemen club on the same property, including littering on the site, parking overflow, noise, and illegal activity. The speakers and Commission noted these issues could be worsened by the new club.
- There are concerns over compatibility with the existing uses in the area, particularly the churches and Jessie Lee Apartments adjoining the property. There was discussion over the proposed club's hours of operation which could conflict with church events and ensuring soundproofing would be adequate to not impact the surrounding residences.
- There were questions on whether parking on the site was adequate, particularly if both the existing club and proposed club were to operate at the same time.
- The speakers during public comment mentioned the applicant had not reached out to them prior to the hearing to talk about the request. Additionally, the speakers mentioned the proposed club did not provide a clear community benefit or any benefits for the city's youth.

Following the public hearing and subsequent discussion, the Planning Commission voted to table the request to give the applicant a chance to reach out to neighboring properties and coordinate potential solutions to their concerns.

### **ADJACENT ZONING/USES:**

Property to the north, northwest, and south of the subject property shares the B-2, General Commercial Zoning. Property to the southwest across South Crater Road is Zoned R-1 and R-1A, Single-Family Residence and property to the east is zoned PUD, Planned Unit Development.

The neighboring uses along Crater Road in the B-2 District include a variety of commercial uses, including restaurant, convenience store, office, and retail uses. The adjacent land across South Crater Road within the R-1 and R-1A Districts is undeveloped and protected by covenants associated with the National Park Service. The property adjoining to the east within the PUD District includes the Jesse Lee apartments.

### **COMPREHENSIVE PLAN CONSIDERATIONS:**

The subject property is located within a Corridor Commercial Area on the Future Land Use Map of the PetersburgNEXT Comprehensive Plan. Corridor Commercial Areas are described as providing “goods and services for the community, allowing residents to access amenities without leaving and keeping tax dollars within Petersburg.” Entertainment and event venues are listed as primary land uses in addition to commercial, hospitality, and personal service uses. The property is also located along a designated corridor. Corridors are described as “defined places that should be managed to maximize their potential to not only invite visitors in, but welcome them to stay.” The Comprehensive Plan also states that entertainment uses are among most desired non-residential land uses according to residents surveyed.

The proposed nightclub appears to be in line with the guidance of the Comprehensive Plan and the Future Land use map by providing a large-scale entertainment and event venue within a Corridor Commercial Area. In conjunction with other anticipated development along the South Crater Road Corridor, the proposed use would work towards providing desired amenities and keeping residents and tax dollars in the City.

### **PUBLIC INPUT:**

Three members of the public spoke during the public hearing on the request. All three public comments were opposed to the request with concerns over site cleanliness, issues with the existing club on the same property, parking needs, and incompatibility with neighboring uses existing in the area, particularly the churches. One written comment opposing the request was received and is provided as an attachment.

### **RECOMMENDATION:**

Staff recommends approval of the Special Use Permit subject to the following conditions:

1. The establishment shall not serve alcoholic beverages to customers between the hours of 2:00 a.m. and 6:00 a.m.
2. A menu shall be provided containing an assortment of foods which shall be made available at all times the establishment is open. A food menu and full dining service shall be available at the bar.
3. No door to the establishment which opens onto or faces a public right-of-way shall be propped open during any time that entertainment is being provided. Additionally, no doors facing the adjacent residential development shall be propped open at any time

entertainment is being provided.

4. The establishment shall maintain a current, active business license at all times while in operation.
5. The establishment shall remain current on all food beverages taxes and business personal property taxes which may become due while it is in operation.
6. The establishment shall comply with the “Royalty Lounge – Management Program,” including the floor plan provided and the “Royalty Lounge Security and Crowd Management Plan” which accompanied the application. The floor plan for the facility will be posted on the premises in a prominent location viewable by patrons.
7. The establishment shall implement soundproofing measures to minimize noise within the establishment and in the surrounding area, to prevent disturbances audible beyond the property line with the doors closed.
8. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
9. The property shall be kept and maintained in a clean, orderly manner and the parking area shall be cleared of litter and debris following each night of operation. Repeated substantiated complaints regarding site cleanliness shall result in review and possible revocation of the special use permit.
10. The special use permit shall be subject to review two (2) years after approval for compliance with the conditions of approval.
11. The special use permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

## **ATTACHMENTS**

Presentation

Resolution

Application

Location Map

Management Program

Security Plan

Zoning Map

Future Land Use Map

List of Adjoining Property Owners

Public Comment Received

PLANNING  
COMMISSION  
MEETING

JANUARY 8,  
2026



## 2025-SUP-06:

Consideration of a resolution recommending approval of a request by Donte Threatt, on behalf of Sweet Investments VA LLC, for a special use permit to operate a nightclub at 2793 South Crater Road, Parcel ID 065110004, in the B-2 General Commercial Zoning District

# Subject Property

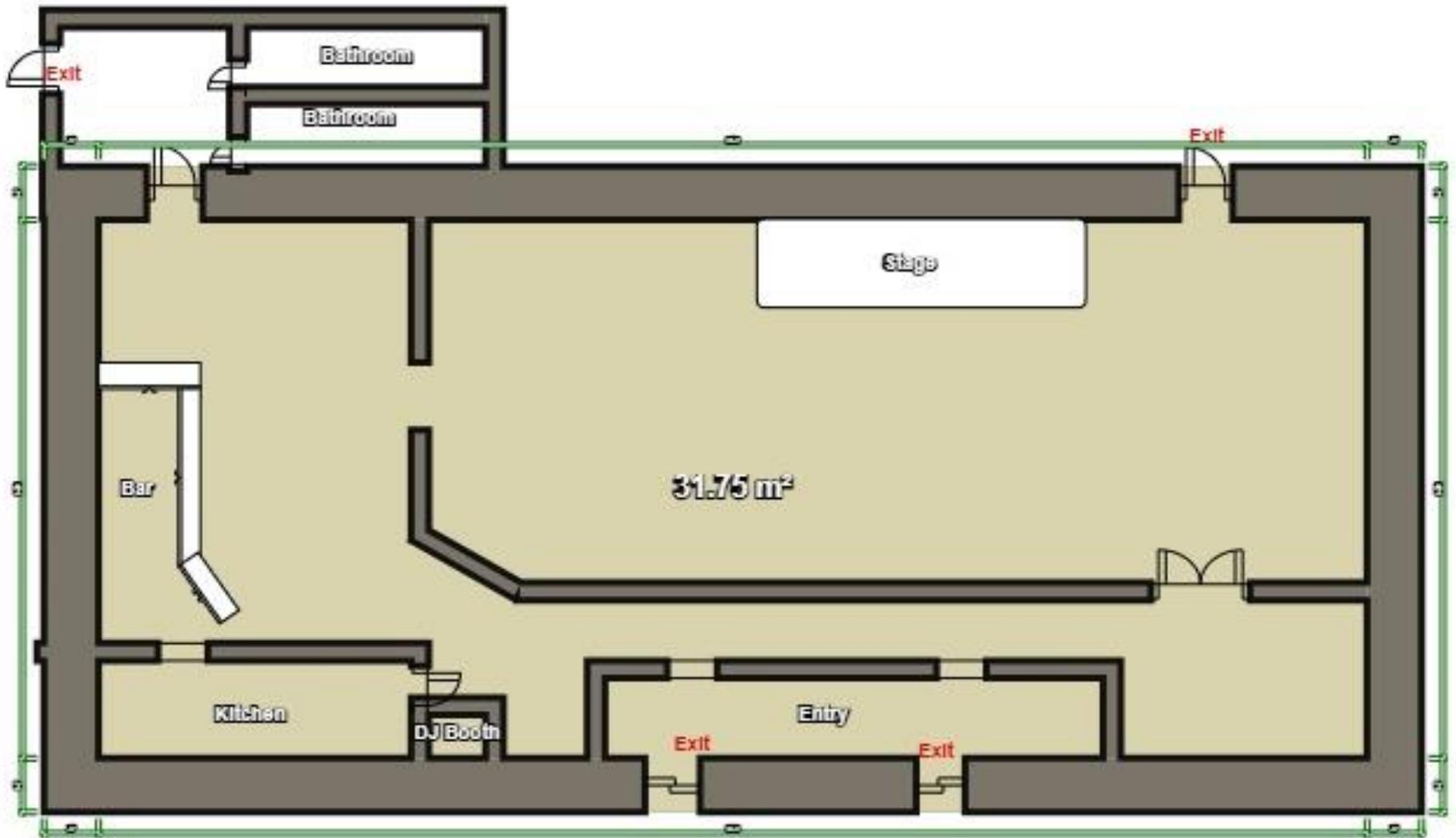
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# Request and Background

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- Subject property is 5.375 acres located in B-2, General Commercial District
- Applicant seeking to operate nightclub in existing ~45,000 s.f. building on property; site is developed with existing parking area
- Special use permit required for nightclub in B-2; Updated regulations for nightclubs adopted in January, 2025
- If approved, facility is subject to automatic conditions and review, management program, and security plan
- Special use permits may be granted public health, safety, and welfare will not be adversely affected and if safeguards are in place to protect surrounding property, persons, and neighborhood values



# December 4 Public Hearing

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- Four public comments received opposing the request
- Several concerns raised:
  - Issues with existing club on property, including littering, parking spillover, illegal activity
  - Potential conflicts with neighboring uses, particularly churches and apartments
  - Availability of parking if both clubs operate at same time
  - Communication between applicant and neighbors, questions on proposed benefit of proposed use
- Planning Commission tabled the request and suggested the applicant work with neighboring properties to address concerns

# Proposed Conditions

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1. The establishment shall not serve alcoholic beverages to customers between the hours of 2:00 a.m. and 6:00 a.m.
2. A menu shall be provided containing an assortment of foods which shall be made available at all times the establishment is open. A food menu and full dining service shall be available at the bar.
3. No door to the establishment which opens onto or faces a public right-of-way shall be propped open during any time that entertainment is being provided. Additionally, no doors facing the adjacent residential development shall be propped open at any time entertainment is being provided.
4. The establishment shall maintain a current, active business license at all times while in operation.
5. The establishment shall remain current on all food beverages taxes and business personal property taxes which may become due while it is in operation.

# Conditions cont.

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6. The establishment shall comply with the “Royalty Lounge – Management Program,” including the floor plan provided and the “Royalty Lounge Security and Crowd Management Plan” which accompanied the application. The floor plan for the facility will be posted on the premises in a prominent location viewable by patrons.
7. The establishment shall implement soundproofing measures to minimize noise within the establishment and in the surrounding area, to prevent disturbances audible beyond the property line with the doors closed.
8. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
9. **The property shall be kept and maintained in a clean, orderly manner and the parking area shall be cleared of litter and debris following each night of operation. Repeated substantiated complaints regarding site cleanliness shall result in review and possible revocation of the special use permit.**
10. The special use permit shall be subject to review two (2) years after approval for compliance with the conditions of approval.
11. The special use permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

# Planning Commission Options

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- Recommend approval of special use permit with conditions as drafted
- Recommend approval of special use permit with amended conditions
- Recommend denial of the special use permit

**A RESOLUTION RECOMMENDING APPROVAL OF A PETITION FOR A SPECIAL USE PERMIT TO OPERATE A NIGHTCLUB AT 2793 SOUTH CRATER ROAD PARCEL IDENTIFICATION NUMBER 065110004 IN THE B-2, GENERAL COMMERCIAL ZONING DISTRICT**

WHEREAS, the City of Petersburg Zoning Ordinance establishes zoning districts and permitted uses within each district, including uses subject to the approval of a special use permit; and

WHEREAS, the City received a petition from Donte Threatt, on behalf of Sweet Investments VA LLC, owner of 2793 South Crater Road in the B-2, General Commercial Zoning District for a special use permit to operate a nightclub pursuant to Article 23, Section 4 of the Zoning Ordinance; and

Whereas; nightclubs are allowed in the B-2, General Commercial Zoning District with an approved special use permit and subject to several automatic conditions; and

WHEREAS, the application was accompanied by a management program detailing staffing levels, floor plans, and occupant load and a security plan with provisions for the employment of licensed and trained personnel and procedures for security and crowd management as required by the Zoning Ordinance; and

WHEREAS, the Comprehensive Plan designates the property as Corridor Commercial on the Future Land Use Map and entertainment and event venues are listed as primary land uses in Corridor Commercial areas; and

WHEREAS, the Planning Commission have considered a number of conditions as listed below to mitigate potential adverse impacts to surrounding properties and general welfare; and

WHEREAS, pursuant to the requirements of Titles 15.2-2204 and 15.2-2285 of the Code of Virginia, as amended, a public hearing was advertised and held, in accordance with applicable laws;

**NOW THEREFORE BE IT RESOLVED** that Planning Commission does hereby recommend approval of a petition for a Special Use Permit to operate a nightclub at 2793 South Crater Road subject to the following conditions:

1. The establishment shall not serve alcoholic beverages to customers between the hours of 2:00 a.m. and 6:00 a.m.
2. A menu shall be provided containing an assortment of foods which shall be made available at all times the establishment is open. A food menu and full dining service shall be available at the bar.
3. No door to the establishment which opens onto or faces a public right-of-way shall be propped open during any time that entertainment is being provided. Additionally, no doors facing the adjacent residential development shall be propped open at any time entertainment is being provided.
4. The establishment shall maintain a current, active business license at all times while in operation.
5. The establishment shall remain current on all food beverages taxes and business personal property taxes which may become due while it is in operation.

6. The establishment shall comply with the “Royalty Lounge – Management Program,” including the floor plan provided and the “Royalty Lounge Security and Crowd Management Plan” which accompanied the application. The floor plan for the facility will be posted on the premises in a prominent location viewable by patrons.
7. The establishment shall implement soundproofing measures to minimize noise within the establishment and in the surrounding area, to prevent disturbances audible beyond the property line with the doors closed.
8. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
9. The property shall be kept and maintained in a clean, orderly manner and the parking area shall be cleared of litter and debris following each night of operation. Repeated substantiated complaints regarding site cleanliness shall result in review and possible revocation of the special use permit
10. The special use permit shall be subject to review two (2) years after approval for compliance with the conditions of approval.
11. The special use permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.



City of Petersburg  
 Department of Planning and Community Development  
 Zoning Administration  
 135 North Union Street, Room 304  
 Petersburg, Virginia 23803  
 (804) 733-2308

# Special Use Permit and Rezoning Application

Date: 10/28/2025 Case Number: 450

## Applicant / Owner

Applicant Name: Donte Threatt  
 Address: 15631 Chesdin Manor Dr  
 City, State, Zip: CHESTERFIELD  
 Phone: 8046915928  
 Email: [REDACTED]

Owner Name: Donte Threatt  
 Address: 15631 Chesdin Manor Dr  
 City, State, Zip: Chesterfield  
 Phone: 8046915928

## Property

Current Zoning: B2  
 Proposed Zoning: B2  
 Tax Parcel ID: 065110004  
 Current Address: 2793 S Crater Rd.  
 Petersburg, Va 23805  
 Approximate Area: 16,000 sq. ft.  
 Acres: 5.375  
 Public Street Frntg.: 100'

The following deed restrictions may affect the use of this property:  
 None  
 Restrictions Expire:

Description of Proposed Use: Upscale Lounge and Event Space

## Justification for Special Use

The proposed use is in the interest of the public health, safety, morals and general welfare of the community because: (Provide a detailed statement of reasons why the proposed use should be granted).

The proposed change directly supports Petersburg's broader goals of revitalizing South Crater Road and expanding entertainment and tourism options near the new casino. Allowing this use preserves the property owner's right to participate in the city's economic growth by attracting visitors, generating local tax revenue, and increasing corridor vitality. The project complements public investments and private developments already. The proposed change in zoning (or special use permit approval) is necessary to allow the property at 2793 S. Crater Road to be used in a manner that is economically viable, compatible with its surroundings, and supportive of the City's long-term redevelopment goals. Approval will preserve the owner's right to make reasonable use of the property while delivering substantial public benefits through increased safety, investment, and community engagement occurring in this high-visibility area. Royalty Lounge will contribute directly to Petersburg's economic development by creating employment opportunities and generating new local tax revenue. Its proximity to the new casino makes it ideally positioned to capture and retain visitor spending within the city, complementing—not competing with—existing entertainment options. The project supports the city's vision for revitalizing the Crater Road commercial corridor by transforming an underutilized property into a vibrant, high-quality destination that attracts both residents and tourists. The owners of Royalty Lounge are committed to providing a secure, well-managed environment. The venue will comply with all ABC regulations, city codes, and fire and occupancy standards, and will implement a comprehensive safety plan including professional security personnel, video surveillance, controlled entry, and parking management. These measures ensure that patrons and nearby properties are protected, helping to deter loitering, noise disturbances, and other nuisances often associated with lower-quality nightlife uses. Royalty Lounge is designed as an upscale social environment that encourages positive community interaction. With tasteful décor, curated music, and attentive service, it provides Petersburg residents and visitors with a safe and elegant option for nightlife entertainment. The establishment's focus on class, comfort, and respect aligns with community morals and contributes to improving the overall perception of the South Crater Road corridor as a safe and thriving area.

The material impact of the proposed use will not be detrimental to the public welfare of the City nor to adjacent property owner(s) or properties located within the nearby vicinity because: (Specify reasons to substantiate this statement and/or present ways the impact may be mitigated).

The proposed rezoning for Royalty Lounge at 2793 S. Crater Road will not have any detrimental impact on public welfare or adjacent properties. On the contrary, it will strengthen the local economy, improve the corridor's appearance, enhance safety, and foster responsible redevelopment that benefits the entire Petersburg community. Royalty Lounge will operate under a comprehensive safety and management plan that emphasizes security, crowd control, and regulatory compliance. The establishment will employ trained, licensed security personnel, maintain a state-of-the-art surveillance system, and implement strict age verification at entry. All operations will comply fully with Virginia ABC laws, city fire and occupancy codes, and Petersburg Police Department recommendations. These measures will ensure that the venue operates in a way that protects patrons, employees, and the surrounding neighborhood.

The proposed use will be advantageous to the City and benefit the welfare of the general public because: (Specify reasons to substantiate this statement).

Rather than increasing strain on public resources, the rezoning and reuse of the existing building will revitalize the site through private investment in building upgrades, landscaping, lighting, and signage improvements. These improvements will enhance property values and overall aesthetics along Crater Road, benefitting both the city and neighboring property owners. Additionally, the project will create new local jobs and increase sales and business tax revenues, directly supporting Petersburg's fiscal stability and long-term economic health. The transformation of the existing building into Royalty Lounge will enhance the visual appeal and activity level along South Crater Road — a major gateway into the city. The renovation will include improvements in lighting, landscaping, signage, and building aesthetics, encouraging further private investment in surrounding properties. This redevelopment aligns with Petersburg's ongoing goals of corridor beautification, commercial revitalization, and the creation of safe, inviting business environments. Royalty Lounge's ownership is committed to working collaboratively with the City of Petersburg, community leaders, and public safety officials to ensure ongoing alignment with city goals. The business plans to participate in civic events, support local artists and small vendors, and engage in charitable initiatives that uplift the surrounding community. This civic-minded approach fosters goodwill, mutual respect, and shared prosperity.

Describe your experience with developing and maintaining the use in question (Provide references and/or examples).

The proposed rezoning is necessary and justified because there are no other suitable, properly zoned, and strategically located properties that can accommodate an upscale, safety-focused entertainment venue of this nature. Approval of this rezoning will enable the responsible reuse of existing infrastructure, support economic growth, and ensure the property contributes positively to the public welfare and redevelopments

goals of the City of Petersburg. Through a combination of hands-on experience, responsible management practices, and proven redevelopment success, the Royalty Lounge team is fully equipped to develop, maintain, and operate this establishment in a manner that reflects positively on the City of Petersburg and supports its goals for safe, sustainable economic growth. Donte Threat and mother Denise Taylor both are well established entrepreneurs in the city. We both have been contributing financially to the growth of Petersburg for well over 2 decades. Donte is the owner of Threatt Counseling & Behavioral Health Services and Denise is the owner of Taylor's Enhanced Living and Taylor-Starkewood Enterprises.

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The undersigned applicant certifies that they:

Royalty Lounge, LLC (a) are the owner, lessee or agent for (specified in writing)

The Lease agreement (b) possess a proprietary interest in (contract or option agreement)

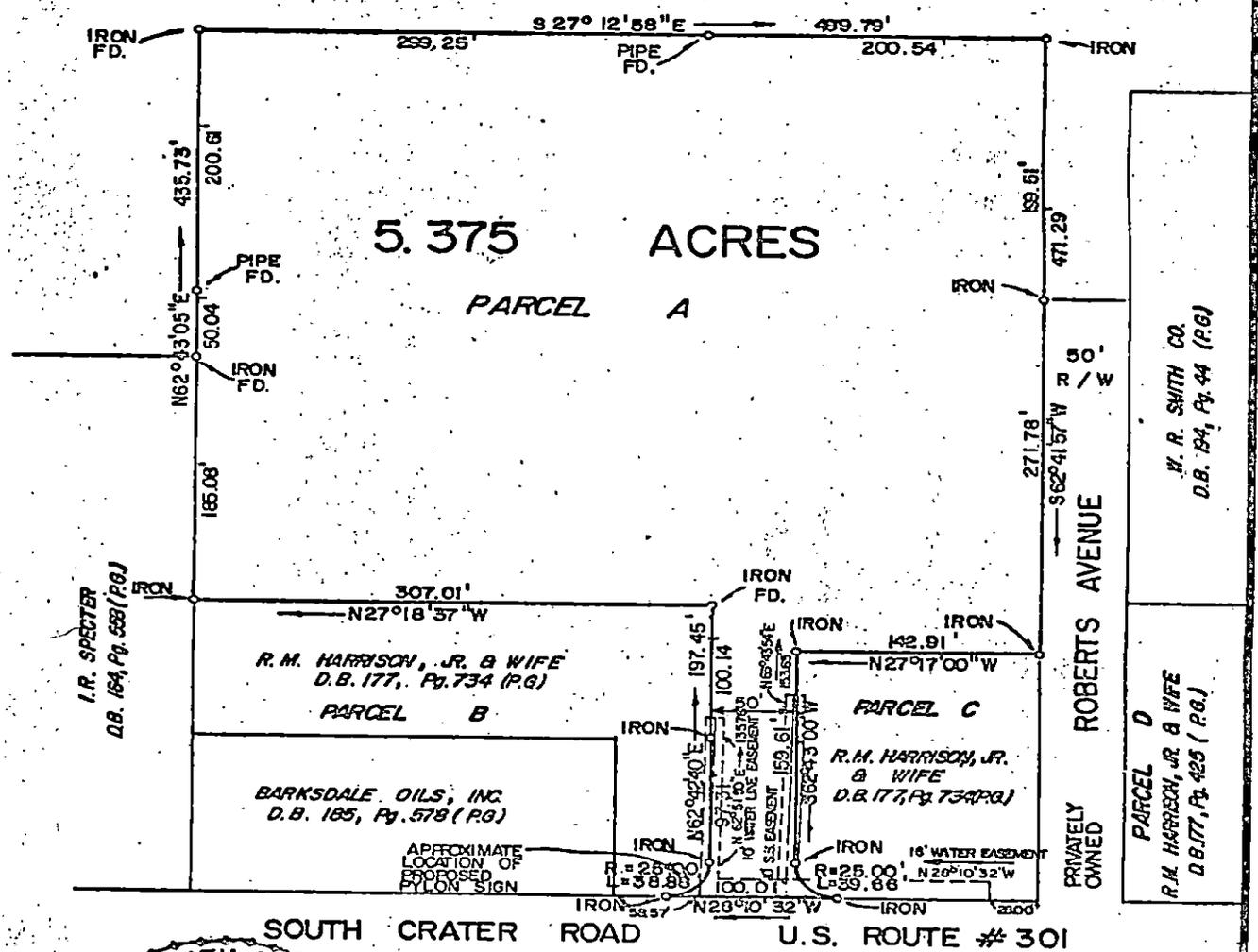
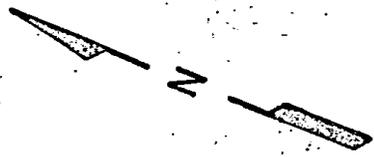
the property(ies) identified within this PETITION FOR REZONING, and that the foregoing information and statements herein provided, and all other information herewith submitted, are in all respects true and correct to the best of their knowledge and belief.

I do hereby certify that the information contained herein is true and correct.

Donte Threatt  
\_\_\_\_\_  
Name

10/28/2025  
\_\_\_\_\_  
Date

N. SISISKY  
P.B. 14, Pg. 153 (P.G.)



COMMONWEALTH OF VIRGINIA  
 CHARLES E. TOWNES  
 CERTIFICATE No. 1222  
 CERTIFIED LAND SURVEYOR

THIS IS TO CERTIFY THAT ON THE 26<sup>th</sup> DAY OF April, 1984, I SURVEYED THE PROPERTY SHOWN ON THIS PLAT. THE TITLE LINES AND WALLS OF THE BUILDINGS ARE AS SHOWN ON THIS PLAT. THE BUILDINGS ARE STRICTLY WITHIN THE TITLE LINES AND THERE ARE NO ENCROACHMENTS OF OTHER BUILDINGS ON THIS PROPERTY.

*Charles E. Townes*  
 SURVEYOR

PLAT OF  
 5.375 ACRES OF LAND SITUATED ON SOUTH CRATER ROAD - U.S. ROUTE # 301 PETERSBURG, VIRGINIA  
 FOR  
 K & P DEVELOPMENT, INC.

SCALE: 1" = 100'  
 CHARLES C. TOWNES & ASSOCIATES, P.C.  
 CIVIL ENGINEERS - PLANNERS - LAND SURVEYORS  
 COLONIAL HEIGHTS, VIRGINIA

REV. MAY 2, 1984  
 APRIL 26, 1984  
 VIRGINIA: In the Clerk's Office of the Circuit Court of the City of Petersburg, May 10, 1984.  
 The foregoing Instrument was this day lodged in said office and, with the certificate and plat annexed, admitted to record at 10:25A.M.  
 Test: *Walter L. Parnell* Clerk

ATTN: LEE BARRON  
 Returned JULY 11, 1984 to:  
 Hirschler, Fleischer, Weinberg, Cox & Allen  
 Attorneys at Law  
 Post Office Box 1Q  
 Richmond, Virginia 23202

# Petersburg, Virginia

## Legend

-  City Boundary
-  Parcels



Feet



1:2,400 / 1"=200 Feet

**Title: Location Map**

**Date: 11/20/2025**

*DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and City of Petersburg is not responsible for its accuracy or how current it may be.*



# Royalty Lounge – Management Plan

**Business Name:** Royalty Lounge

**Owner:** Donte Threatt

**Location:** Petersburg, Virginia

**Projected Opening:** Early 2026

**Venue Type:** Upscale Social and Lounge venue with Live Entertainment

**Occupancy:** Approximately 500 guests (final number subject to Fire Marshal approval)

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## 1. Staffing Levels

Royalty Lounge will maintain appropriate staffing levels to ensure smooth operations, guest safety, and compliance with all local codes and ABC regulations. Staffing will adjust based on event type and anticipated attendance.

### a. Management and Administrative Staff

- **General Manager (1):** Oversees daily operations, staffing, finances, and compliance.
- **Assistant Manager (1):** Supports management and supervises floor operations.
- **Event Coordinator (1):** Manages artist bookings, private events, and VIP experiences.
- **Security Supervisor (1):** Oversees safety personnel and coordinates with local law enforcement.

### b. Front-of-House Staff

- **Bartenders (4–6):** Provide beverage service at main and VIP bars.
- **Servers/Cocktail Waitresses (6–10):** Manage table and bottle service.
- **Host/Hostess (2):** Manage guest entry, reservations, and VIP seating.
- **Barbacks (2):** Support bartenders with stock and cleanliness.
- **DJ/Entertainment Crew (2–3):** Includes house DJ, lighting, and sound technician.

### c. Security and Safety

- **Security Personnel (6–10 per event):** Licensed staff controlling entry, ID checks, crowd monitoring, and closing procedures.
- **Certified Crowd Manager (1):** On duty per state fire code requirements.
- **On-Call Off-Duty Police Officer (as needed):** For high-traffic nights or special events.

### d. Support Staff

- **Cleaning Crew (2–3):** Maintain cleanliness throughout the night and post-event.
- **Maintenance (1):** On-call for minor repairs and facility checks.

*Total Estimated Staff on a Standard Operating Night: 25–35 people*

---

## 2. Floor Plan & Layout

A detailed **architectural floor plan** will be provided with the building permit and inspection process. The general layout includes:

### Main Floor

- **Entrance & Check-In Area:** ID check, ticket scanning, coat check (optional).
- **Main Bar:** 40-foot curved bar with standing rail and seating for 20 guests.
- **Lounge Seating Area:** Tables and chairs for approximately 150 seated guests.
- **Dance Floor:** Centralized open area with LED flooring and lighting capacity for ~100 standing patrons.
- **Stage Area:** For live music, DJs, and performances (approximately 15' x 20').
- **VIP Sections:** 6 semi-private VIP lounges with bottle service seating (each 8–10 guests).
- **Restrooms:** ADA-compliant facilities for men and women.

### Emergency Exits and Fire Safety

- Clearly marked emergency exits on all sides of the main floor.
- Exit lighting, sprinkler system, and alarm devices per code.
- Fire extinguishers placed at required intervals.

**Note:** The finalized **floor plan with labeled areas and occupant load** will be posted in a **prominent location** at the main entrance and staff areas per Virginia Fire Prevention Code.

---

## 3. Total Occupant Load

The **anticipated total occupant load** for Royalty Lounge is **500 persons**, subject to verification and approval by the **Building Official** and **Fire Marshal** in accordance with the **Virginia Statewide Building Code** and **Fire Prevention Code**.

This load includes:

- **Seated Guests:** 250
- **Standing Room/Dance Floor:** 150
- **Staff and Performers:** 100 (approximate)

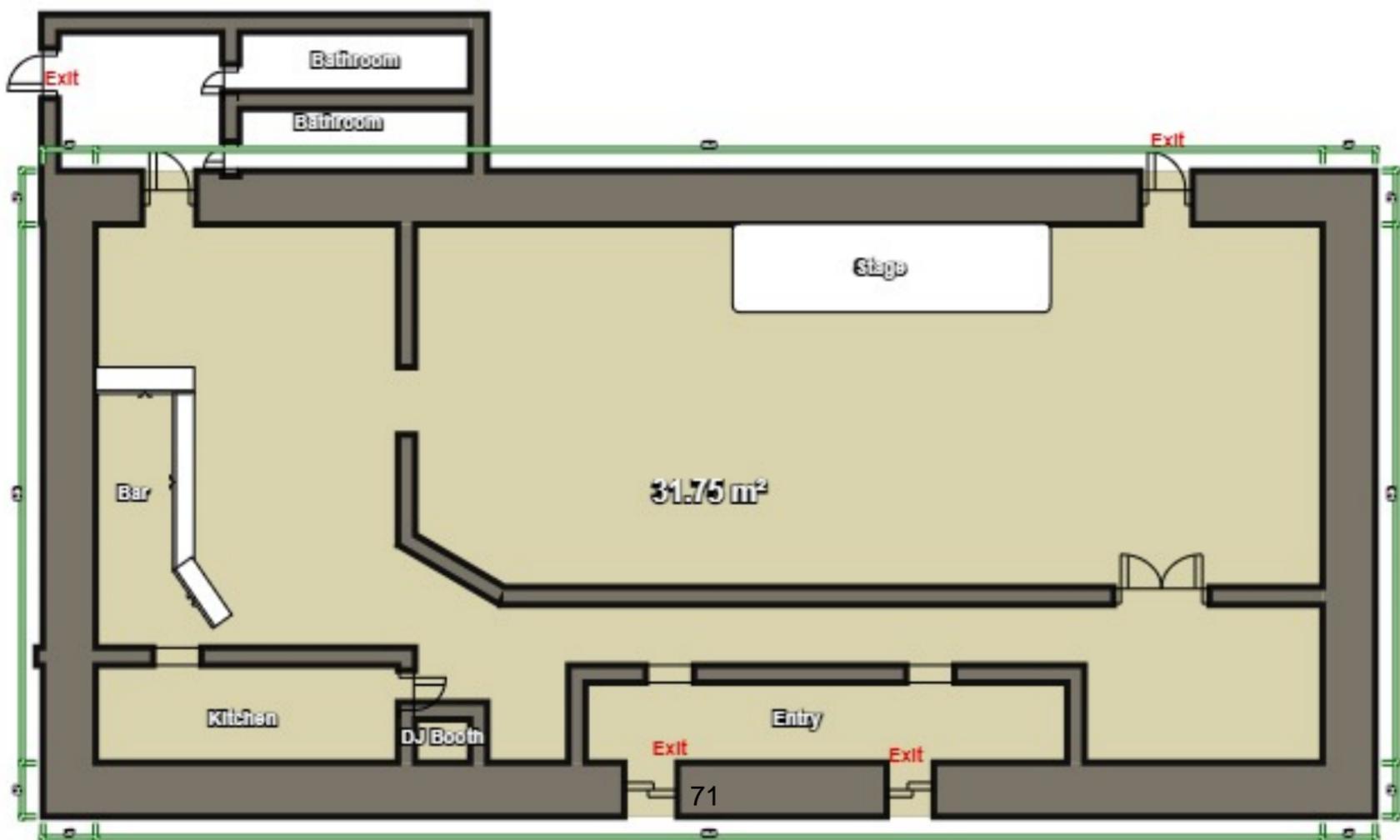
The official **maximum occupancy certificate** will be displayed near the main entrance and strictly enforced by management and security staff. Counter systems and security staff will monitor guest counts throughout each night to ensure compliance.

#### 4. Operations and Compliance Measures

- Staff will be trained on **fire safety procedures, evacuation plans, and emergency communication.**
  - The **floor plan and occupancy limit signage** will remain posted in visible areas accessible to both patrons and staff.
  - Royalty Lounge will conduct **monthly safety checks** with the manager and security supervisor.
  - The establishment will fully comply with **ABC regulations, health department, and city licensing** requirements.
- 

#### 5. Summary

Royalty Lounge is committed to operating as a safe, elegant, and compliant entertainment venue that enhances Petersburg's social life and downtown revitalization. Through clear staffing protocols, capacity management, and transparency with local authorities, Royalty Lounge will provide premium experience while upholding the highest operational standards.



# Royalty Lounge – Security and Crowd Management Plan

**Business Name:** Royalty Lounge

**Owner:** Donte Threatt

**Location:** Petersburg, VA

**Type:** Upscale Social Lounge

**Projected Opening:** Early 2026

**Maximum Occupant Load:** 500 persons (subject to Fire Marshal approval)

---

## 1. Security Staffing and Licensing Requirements

Royalty Lounge will contract **licensed and trained security personnel** to maintain a safe, controlled, and compliant environment at all times.

### Security Personnel Standards

- All security staff will hold valid **Department of Criminal Justice Services (DCJS)** licenses for security employment in the Commonwealth of Virginia.
  - Security staff will receive annual training in:
    - **Crowd control techniques**
    - **Conflict de-escalation and resolution**
    - **Emergency evacuation procedures**
    - **First aid/CPR** and emergency medical coordination
    - **ABC law compliance** (checking IDs and spotting intoxication)
  - The **Security Supervisor** will ensure all team members remain in compliance with licensing and training updates.
- 

## 2. Security Staffing Levels

Security staffing will scale based on occupancy and event type to ensure adequate coverage at all times.

<b>Event Type</b>	<b>Estimated Attendance</b>	<b>Security Personnel On Duty</b>
Regular Night	200–300 guests	8-10 licensed guards + 1 supervisor
High-Traffic Night (Fri/Sat)	300–400 guests	10-14 licensed guards + 1 supervisor + 1 off-duty police officer
Live Events or Celebrity Performances	400–500 guests	15–20 licensed guards + 1 supervisor + 2 off-duty police officers

### Minimum Staffing Breakdown (Regular Operations):

- **2 guards** stationed at entrance for ID checks and guest screening
  - **4 guard** stationed near the **VIP section**
  - **2 guard** monitoring **dance floor and bar areas**
  - **2 guard** posted near **rear exits** for safety and emergency egress
  - **1 supervisor** on mobile patrol inside and outside the venue
  - **2 guard** positioned in parking lot during entry/exit periods
- 

### 3. Occupancy Management

Security personnel are responsible for monitoring and maintaining the approved occupant load in compliance with the **Virginia Statewide Building and Fire Prevention Code**.

#### Procedures

- Occupancy counts are monitored in real-time using a **digital clicker system** or mobile app at the front entry.
  - Entry is suspended once occupancy reaches the approved limit (as stated on the Fire Marshal's posted occupancy certificate).
  - Security personnel maintain communication via **two-way radios** for immediate coordination.
  - Managers and security supervisors will conduct random headcounts throughout the night for verification.
- 

### 4. Crowd Control Procedures

Royalty Lounge will implement strict crowd control procedures before, during, and after operating hours to prevent overcrowding and maintain orderly flow.

#### Pre-Event and Entry

- Security conducts bag checks, ID verification, and visual inspections upon entry.
- Guests are guided through **stanchioned entry lanes** to ensure organized flow.
- Individuals showing signs of intoxication or aggression will be denied entry.

#### During Operation

- Security personnel will patrol all areas — dance floor, bar, VIP, restrooms, and exits — to identify potential conflicts early.
- Staff will maintain **clear pathways** to emergency exits at all times.

- The **Security Supervisor** coordinates responses to any disturbance and communicates with on-site management.
- **Surveillance cameras** cover all key interior and exterior points (entrances, exits, stage, bar, and parking lot).

### **Closing and Post-Event Procedures**

- Security will announce last call and closing procedures in a calm, organized manner 15–30 minutes before closing.
  - Lights will be raised gradually, and music volume will decrease to encourage a smooth exit.
  - Guards will guide guests toward exits and parking areas while preventing loitering.
  - At least **two security personnel** remain inside and outside for **30 minutes post-closing** to ensure the property clears safely.
- 

## **5. Emergency Response Protocols**

In the event of a fire, medical emergency, or disturbance:

1. **Security Supervisor** initiates the **Emergency Response Plan** and contacts **911**.
  2. Designated staff assist in **evacuation procedures** per the posted floor plan.
  3. Security maintains clear **egress routes** and assists patrons toward exits.
  4. One staff member will remain at the **front entrance** to guide emergency responders to the correct area.
  5. Incident reports will be documented in writing and reviewed by management within 24 hours.
- 

## **6. Communication and Coordination**

- Security personnel will operate on **dedicated radio channels** for internal communication.
  - The **General Manager** or **Security Supervisor** will serve as the **point of contact** for law enforcement and fire officials.
  - Security logs will be maintained nightly, noting:
    - Staffing levels
    - Crowd estimates
    - Incidents (if any)
    - Entry/exit headcounts
- 

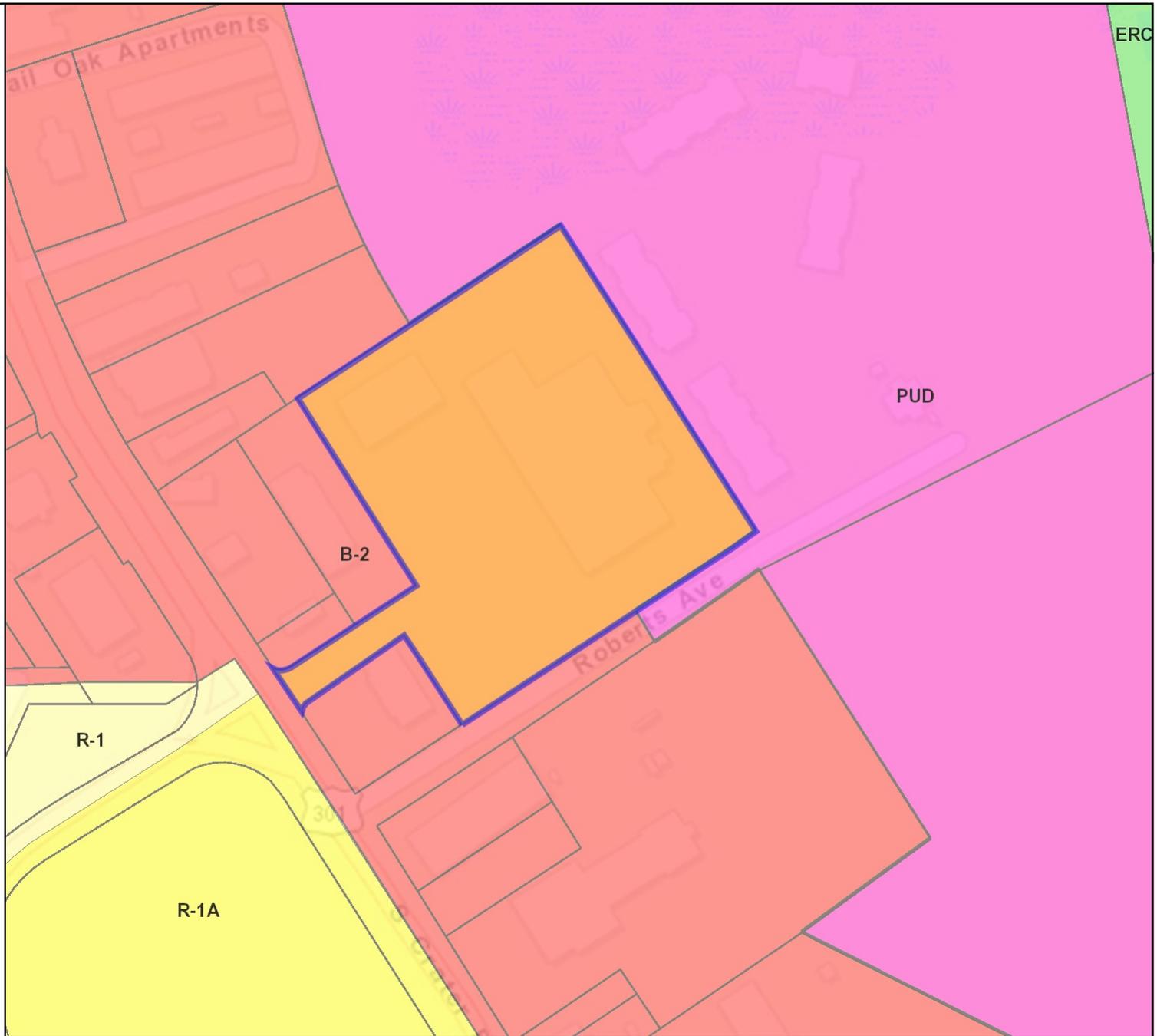
## **7. Commitment to Safety**

Royalty Lounge is committed to maintaining a **professional and proactive security presence** that protects guests, staff, and surrounding businesses. Through continuous training, strong coordination with local authorities, and diligent adherence to occupancy and safety standards, Royalty Lounge will uphold the highest standards of crowd and risk management in Petersburg's social life community.

# Petersburg, Virginia

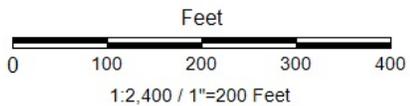
## Legend

- City Boundary
- Parcels
- Zoning**
- A
- B-1
- B-2
- B-2 (C)
- B-3
- B-3 (C)
- ERC
- M-1
- M-1 (C)
- M-2
- MXD1
- MXD2
- MXD3
- PUD
- R-1
- R-1 (C)
- R-1A
- R-1A (C)
- R-2
- R-3
- R-4
- R-5
- R-5 (C)
- R-6
- RB
- RMH
- RTH
- RTH (C)



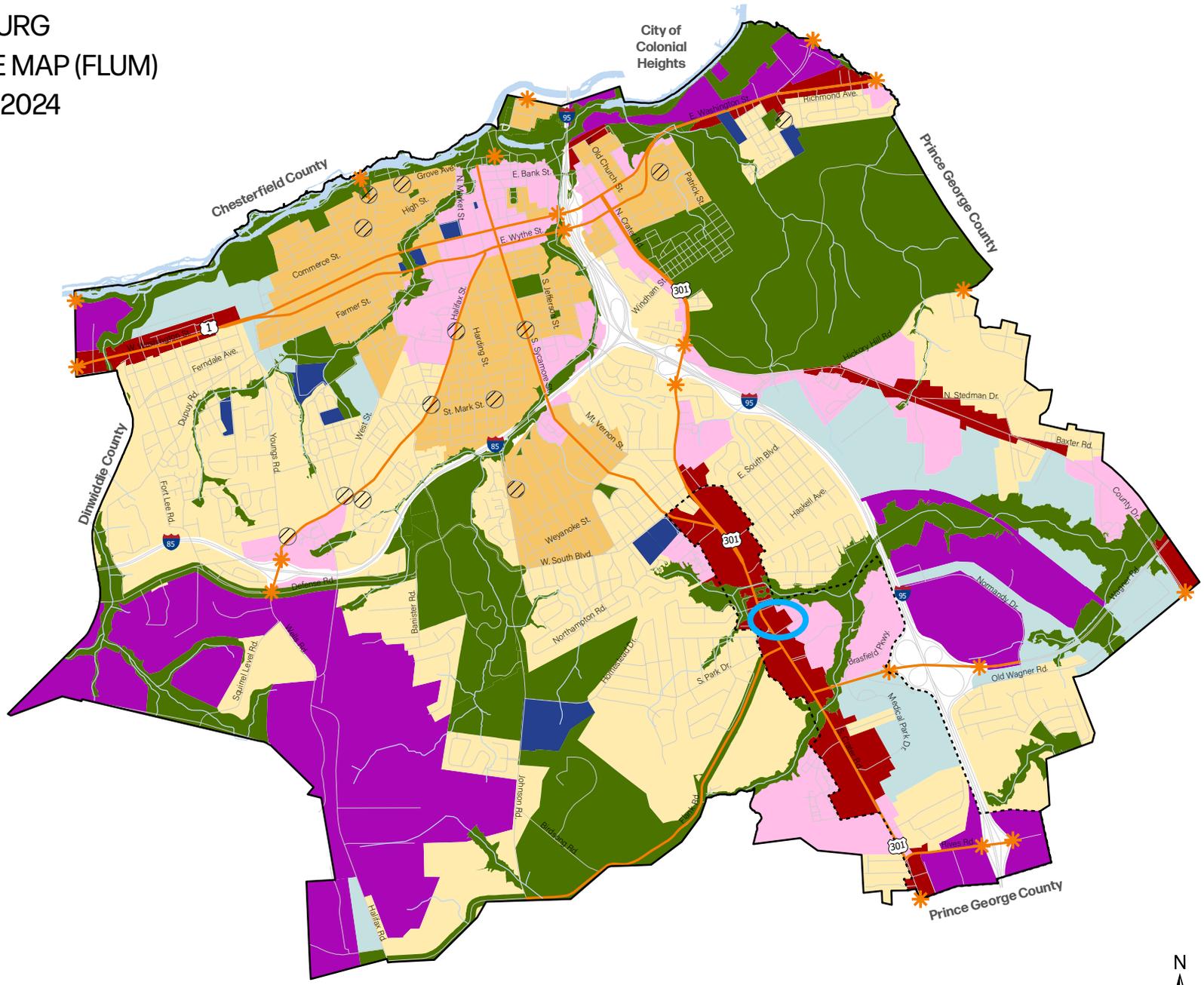
**Title: Zoning Map**

**Date: 11/20/2025**



*DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and City of Petersburg is not responsible for its accuracy or how current it may be.*

**CITY OF PETERSBURG  
FUTURE LAND USE MAP (FLUM)  
ADOPTED MAY 21, 2024**



**LEGEND**

- City Limits
- Roads
- Appomattox River
- Waterways
- - - South Crater Urban Development Area (UDA)
- Historic Core Neighborhoods
- Community Residential
- Neighborhood Commercial
- Community Mixed-Use
- Corridor Commercial
- Research and Development
- General Industrial
- Civic
- Conservation and Recreation
- Gateways
- Corridors



<b>Address</b>	<b>Owner</b>	<b>Mailing Address</b>	<b>City</b>
2795 S Crater Rd	English Hills Properties LLC	PO Box 872	Colonial Heights, VA 23834
2791 S Crater Rd	Storehouse Of Virginia Inc	PO Box 1805	Petersburg, VA 23805
2787 S Crater Rd	Barksdale Bruner Lash	PO Box 910	Petersburg, VA 23803
2731 S Crater Rd	Sayyar Petersburg Property LLC	5231 Hickory Park Dr Ste E	Glen Allen, VA 23059
2727 S Crater Rd	Gurugi LLC	2727 S Crater Rd	Petersburg, VA 23805
2825 S Crater Rd	JDP Real Estate LLC	1506 Staples Mill Rd	Richmond, VA 23230
2833 S Crater Rd	Jarls Motors Richmond LLC	2000 Walthall Center Dr	Colonial Heights, VA 23834
2793 S Crater Rd	Sweet Investments VA LLC	7460 Conowingo Ave Units 5-11	Jessup, MD 20794
401 Roberts Ave	Jesse Apts LLC	123 Town Square Pl #667	Jersey City, NJ 07310

## Jared Crews

---

**From:** Kevin Winfree [REDACTED]  
**Sent:** Thursday, December 4, 2025 2:14 PM  
**To:** PCD  
**Subject:** Adjacent Property Notification 2025-SUP-06- Hearing tonight

Some people who received this message don't often get email from kevin.englishhills@gmail.com. [Learn why this is important](#)

**CAUTION: External! - Do not open attachments or click links unless you know the content is safe.**

Good afternoon Planner Tyler Jackson, and/ or other members of the Department of Planning & Community Development,

I am the owner of the property at 2795 S. Crater Road, Petersburg, adjacent to the subject property in question and received your letter of notice.

I regret that I am unable to attend the public hearing tonight, as I am currently out of town.

However, please consider this email as written opposition to the property behind mine, identified as 2793 South Crater Road (Parcel ID 065-11004), being used as a night club. I strongly appose this use as it is not the highest and best use of the parcel as certainly not compatible with the current uses of surrounding properties.

Noise, trash strewn about the area, increased crime, and increased wear and tear on the parking lot access (where there is no maintenance agreement in place), would negatively affect the quiet enjoyment of the apartment community behind this property, as well as the established retail and office properties along Crater Road.

Please consider, for the record, that **I am enthusiastically opposed** to allowing a night club to further degrade the area where my property is located.

Thank you for your time and consideration.



**Kevin W. Winfree, Owner**  
**English Hills Properties, LLC**

Phone: 804-892-0532

Fax: 804-631-9977

[REDACTED]

This e-mail message and any attached files are for the sole use of the intended recipient(s) and may contain privileged, confidential or otherwise protected from disclosure information. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.



## City of Petersburg

Department of Planning and Community Development  
135 N Union St, Room 304  
Petersburg, VA 23803  
(804) 733-2308

# MEMORANDUM

## UPDATE: NEW INFORMATION IN RED

**DATE:** January 8, 2026

**TO:** Planning Commission

**FROM:** Planning and Community Development

**RE:** 2025-SUP-07: Consideration of a resolution recommending approval of a request by Pedro Rosario for a special use permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road, Parcel ID 101090005, in the B-2, General Commercial Zoning District

## EXECUTIVE SUMMARY:

The applicant is requesting to operate a stand-alone vehicle repair shop at 3857 South Crater Road in the B-2, General Commercial Zoning District. A Special Use Permit is required to operate a stand-alone vehicle repair shop in the B-2 District. The subject property is designated as Corridor Commercial on the Future Land Use Map of the PetersburgNEXT Comprehensive Plan and is also located near a designated Gateway. The proposed use, if permitted, will be controlled by the Zoning Ordinance as well as any conditions recommended by Planning Commission and accepted by City Council.

## CHRONOLOGY OF EVENTS:

1. November 12, 2025 – Staff received petition by applicant for special use permit to operate stand-alone vehicle repair shop at 3857 South Crater Road.
2. December 4, 2025 – Planning Commission held public hearing on the request.

## BACKGROUND:

The subject property is a 0.459-acre lot located on the east side of South Crater Road in the B-2, General Commercial Zoning District. Per Article 23, Section 4(23) of the Zoning Ordinance, a special use permit must be granted for stand-alone vehicle repair shops in the B-2 Zoning District. Council may grant approval of special use permits when the public health, safety,

moral and general welfare will not be adversely affected by a use, and provided that necessary safeguards will be provided to protect surrounding property, persons, and neighborhood values.

The applicant currently operates “PJ Auto Repair” located on the adjoining property at 3851 South Crater Road, which is considered a legal nonconforming use. The application states that this facility will be closed and the vehicle repair shop will be moved to the subject property. The applicant intends to construct a 50-foot by 100-foot facility on the subject property, allowing for a new use of the property at 3851 South Crater Road. The application states all vehicle repair work will occur within the enclosed building and that no long-term storage of vehicles will occur on the site.

The application was accompanied by a site plan showing the proposed layout of the site, including the proposed building, off-street parking spaces, and the dumpster enclosure. Access is shown from South Crater Road and a gated entrance. The plan also includes several notes stating the site will comply with City code in terms of construction, parking, storage of vehicles, entrance design, stormwater management, site lighting, screening and landscaping, utility connections, and waste management.

On December 4, 2025, the Planning Commission held a public hearing on the request. During the public hearing and subsequent discussion, several concerns with the request were raised, including the following:

- The subject property and the adjacent property with the current shop have a number of vehicles stored. The number of vehicles currently on the site would exceed what would be allowed if the special use permit is approved.
- The applicant noted that some of the cars on the site were abandoned and could not be removed without coordination from the Department of Motor Vehicles (DMV). The Commission explained this would not be acceptable if the special permit was granted.
- There was a lack of detail on landscaping and screening in the plans provided.
- The existing chain-link fence around the property is not attractive, particularly at a city gateway along a main corridor.
- There is an existing billboard on the site

Following the public hearing, the applicant submitted updated plans which include streetscape improvements for the property. The plans show the construction of sidewalk along the frontage of the site as well as the replacement of the chain-link fence with an ornamental metal fence including masonry piers. Additionally, the plan shows vegetative screening comprising evergreen trees at a minimum of six feet in height at time of planting to be installed along the street frontage. The plans also include additional elevations, renderings, and floorplans for the proposed facility.

Please note the updated site layout includes an entrance onto Orchard Street, which is a partially improved street functioning largely as a driveway. If this entrance is installed, Orchard

Street will need to be improved to meet current standards of the Department of Public Works.

The applicant has noted that the billboard on the site is subject to an existing lease with a third party which does not expire until October 31, 2028. The applicant provided a copy of the lease for reference and has requested the billboard remain on the property until the lease expires.

The applicant has also indicated that the subject property is actively being cleaned up and the vehicles stored on the property have been removed and relocated. At the time of the writing of this report, the vehicles on the site, but there is still a semi-trailer stored as well as accumulated pile of miscellaneous junk and debris.

**Staff Considerations:**

Upon review of the application and site plan, staff have identified several items that warrant consideration:

- The application and site plan indicate that the existing facility at 3851 South Crater Road will be closed and that there will be no dual operation. Though the applicant is the operator of the business, he is not owner of the property at 3851 South Crater Road. The legal nonconforming status for the property would exist for two years and the City has no way to guarantee a facility could not be taken over by a new operator.
- The site plan shows the site as almost entirely paved. Based on recently-adopted regulations, at least 10 percent of the site would need to be landscaped area and landscaping would be required throughout the parking area.
- There are a number of vehicles currently stored throughout the property at 3851 South Crater Road as well as on the subject property. The existing facility is considered legally nonconforming, but it does not comply with all current zoning requirements.
- Over the last several years, City Council has emphasized the importance of the corridors and gateways of the City and the desire to avoid uses that may have a negative visual impact. The storage of vehicles on the site currently makes a visual impact on the corridor.

**ADJACENT ZONING/USES:**

Property adjoining the subject property on the east side of South Crater Road are zoned B-2, General Commercial and include commercial and automotive uses such as an auto rental business to the south and the applicant’s current repair shop to the north. Property to the east is undeveloped. The properties across South Crater Road are in the R-1, Single-Family Residence District and consist of single-family dwellings in the South Plains subdivision.

**COMPREHENSIVE PLAN CONSIDERATIONS:**

The subject property is located in a Corridor Commercial area on the Future Land Use Map of

the PetersburgNEXT Comprehensive Plan. According to the plan, these areas “provide goods and services for the community, allowing residents to access amenities without leaving and keeping tax dollars within Petersburg.” The plan calls for a connected “Main Street” development pattern with buildings oriented toward the street with parking areas to the rear or side. Primary land uses in Corridor Commercial areas include hospitality, large commercial, office, and personal service uses and small-scale manufacturing. Development principles for these areas include incorporating alternative transportation methods, public art, amenities, and signage, traffic calming, and high-quality building materials, preserving existing tree canopies and providing new plantings, and providing access management and connections to reduce dependence on vehicles trips.

The property is also located at a designated gateway on one of the city’s main corridors. The plan states that these corridors strongly influence the city’s “accessibility, attractiveness, and economic vitality” and that gateways are key places that “serve as the community’s front door, establishing first impressions and reinforcing perceptions of the city.” The plan states that the City should prioritize improving the image and attractiveness of gateways.

While automotive repair can be considered a personal service use, which is listed as appropriate in Corridor Commercial areas, there is a heavier focus on attractive, economically viable uses along the main corridors and particularly at gateways. Existing uses surrounding the subject property include automotive repair, but the Comprehensive Plan emphasizes finding strategies to make these areas more attractive to create a strong sense of arrival in the city and establish community character.

**PUBLIC INPUT:**

Three members of the public spoke during the public hearing on the request. Two individuals spoke in favor of the request and one individual spoke against the request.

**RECOMMENDATION:**

If the special use permit is approved, Planning staff would recommend attaching the following conditions of approval:

1. The site shall be developed in substantial conformance with the application as well as the site plan, elevations, and renderings prepared by Purecraft Homes titled “PCH New PJ Auto Repair Shop” dated December 23, 2025.
2. The proposed streetscape improvements, including the installation of sidewalk, the ornamental fence, and the evergreen plantings shall be completed prior to issuance of a Certificate of Occupancy for the facility. Plantings within the screening area shall be located on private property and maintained by the property owner.
3. The property shall be kept and maintained in a clean, orderly manner and with the exception of vehicles on site for repair, no open, outdoor storage of materials, including tires, is permitted.

4. The site shall not operate as a vehicle recovery, storage, or tow lot; wrecked or impounded vehicles shall not be stored on the site. Vehicles may be towed to the site for service, but the operator shall keep an inventory of when the vehicles arrive for service to assure compliance with condition 5 below.
5. No inoperable vehicles shall be stored for more than fourteen (14) days on the site unless they are actively being repaired. Active repair shall mean that no fourteen (14) day period passes in which the condition of a vehicle remains unchanged and/or the vehicle has not moved. No more than five (5) vehicles for repair shall be stored on the site at any point.
6. The existing billboard sign on the site shall be removed following the termination of the current lease on October 31, 2028.
7. A parking area shall be installed in accordance with Article 19 of the Zoning Ordinance; any vehicles stored on the site for repair shall be located in paved, striped spaces.
8. If an entrance from the Orchard Street right-of-way is installed, the right-of-way shall be improved to standards acceptable to the Department of Public Works.
9. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
10. A permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

## ATTACHMENTS

Presentation

Resolution

Application

Location Map

Updated Concept Plan and Renderings

Billboard Lease

Zoning Map

Future Land Use Map

List of Adjoining Property Owners

PLANNING  
COMMISSION  
MEETING

JANUARY 8,  
2026

*Petersburg*  
VIRGINIA

## 2025-SUP-07:

Consideration of a resolution recommending approval of a request by Pedro Rosario for a special use permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road, Parcel ID 101090005, in the B-2, General Commercial Zoning District

# Subject Property

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# Request and Background

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- Subject property is 0.459 acres located in B-2, General Commercial District
- Applicant seeking to operate stand-alone vehicle repair shop in new 50' by 100' facility; special use permit is required
- Applicant currently operates PJ Auto Repair on adjoining property to north; states existing shop will be closed and operations moved to new facility
- Application accompanied by site plan showing proposed layout along with notes on compliance with City Code
- Special use permits may be granted public health, safety, and welfare will not be adversely affected and if safeguards are in place to protect surrounding property, persons, and neighborhood values

# December 4 Public Hearing

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- Three public comments received; two in favor of request, one against
- Several concerns raised:
  - Number of vehicles already stored on the site and the adjoining property
  - Lack of detail on landscaping and screening
  - Property located at gateway to city
  - Confusion over billboard on the property
- Request tabled to give applicant opportunity to respond to concerns

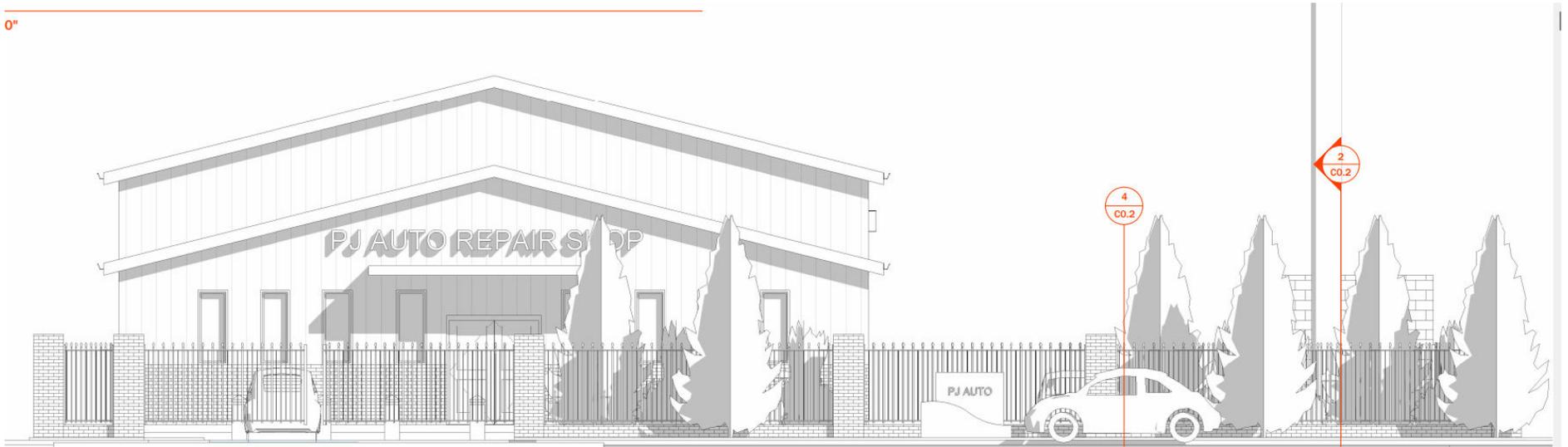
# Updates from Applicant

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- Streetscape improvements, including sidewalk along property frontage, replacement of chain-link fence with ornamental fence, vegetative screening
- Updated site plan and renderings of proposed facility provided
- Vehicles removed from site; semi-trailer and miscellaneous debris remaining
- Lease on billboard runs through 10/31/2028, applicant is willing to remove the billboard after that date



0°





*Petersburg*  
VIRGINIA

# Proposed Conditions

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1. The site shall be developed in substantial conformance with the application as well as the site plan, elevations, and renderings prepared by Purecraft Homes titled “PCH New PJ Auto Repair Shop” dated December 23, 2025.
2. The proposed streetscape improvements, including the installation of sidewalk, the ornamental fence, and the evergreen plantings shall be completed prior to issuance of a Certificate of Occupancy for the facility. Plantings within the screening area shall be located on private property and maintained by the property owner.
3. The property shall be kept and maintained in a clean, orderly manner and with the exception of vehicles on site for repair, no open, outdoor storage of materials, including tires, is permitted.
4. The site shall not operate as a vehicle recovery, storage, or tow lot; wrecked or impounded vehicles shall not be stored on the site. Vehicles may be towed to the site for service, but the operator shall keep an inventory of when the vehicles arrive for service to assure compliance with condition 5 below.
5. No inoperable vehicles shall be stored for more than fourteen (14) days on the site unless they are actively being repaired. Active repair shall mean that no fourteen (14) day period passes in which the condition of a vehicle remains unchanged and/or the vehicle has not moved. No more than five (5) vehicles for repair shall be stored on the site at any point.

# Conditions cont.

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6. The existing billboard sign on the site shall be removed following the termination of the current lease on October 31, 2028.
7. A parking area shall be installed in accordance with Article 19 of the Zoning Ordinance; any vehicles stored on the site for repair shall be located in paved, striped spaces.
8. If an entrance from the Orchard Avenue right-of-way is installed, the right-of-way shall be improved to standards acceptable to the Department of Public Works.
9. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
10. A permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.

# Planning Commission Options

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- Recommend approval of special use permit with conditions as drafted
- Recommend approval of special use permit with amended conditions
- Recommend denial of the special use permit

**A RESOLUTION RECOMMENDING APPROVAL OF A PETITION FOR A SPECIAL USE PERMIT TO OPERATE  
A STAND-ALONE VEHICLE REPAIR SHOP AT 3857 SOUTH CRATER ROAD PARCEL IDENTIFICATION  
NUMBER 101090005 IN THE B-2, GENERAL COMMERCIAL ZONING DISTRICT**

WHEREAS, the City of Petersburg Zoning Ordinance establishes zoning districts and permitted uses within each district, including uses subject to the approval of a special use permit; and

WHEREAS, the City received a petition from Pedro Rosario, owner of 3857 South Crater Road, Tax Parcel Number 101090005, located in the B-2, General Commercial Zoning District for a special use permit to operate a stand-alone vehicle repair shop pursuant to Article 23, Section 4 of the Zoning Ordinance; and

WHEREAS, the applicant seeks to cease operations at his current shop at 3851 South Crater Road to construct a new vehicle repair shop on the subject property; and

WHEREAS, the applicant intends to develop the subject property in accordance with the site plan entitled "PCH New PJ Auto Repair Shop" dated November 19, 2025; and

WHEREAS, the Comprehensive Plan designates the property as Corridor Commercial on the Future Land Use Map and the property is within a designated corridor and gateway area; and

WHEREAS, the Planning Commission have considered a number of conditions as listed below to mitigate potential adverse impacts to surrounding properties and general welfare; and

WHEREAS, pursuant to the requirements of Titles 15.2-2204 and 15.2-2285 of the Code of Virginia, as amended, a public hearing was advertised and held, in accordance with applicable laws;

**NOW THEREFORE BE IT RESOLVED** that Planning Commission does hereby recommend approval of a petition for a Special Use Permit to operate a stand-alone vehicle repair shop at 3857 South Crater Road subject to the following conditions:

1. The site shall be developed in substantial conformance with the application as well as the site plan, elevations, and renderings prepared by Purecraft Homes titled "PCH New PJ Auto Repair Shop" dated December 23, 2025.
2. The proposed streetscape improvements, including the installation of sidewalk, the ornamental fence, and the evergreen plantings shall be completed prior to issuance of a Certificate of Occupancy for the facility. Plantings within the screening area shall be located on private property and maintained by the property owner.
3. The property shall be kept and maintained in a clean, orderly manner and with the exception of vehicles on site for repair, no open, outdoor storage of materials, including tires, is permitted.
4. The site shall not operate as a vehicle recovery, storage, or tow lot; wrecked or impounded vehicles shall not be stored on the site. Vehicles may be towed to the site for service, but the operator shall keep an inventory of when the vehicles arrive for service to assure compliance with condition 5 below.
5. No inoperable vehicles shall be stored for more than fourteen (14) days on the site unless they are actively being repaired. Active repair shall mean that no fourteen (14) day period passes in which the condition of a vehicle remains unchanged and/or the vehicle has not moved. No more than five (5) vehicles for repair shall be stored on the site at any point.

6. The existing billboard sign on the site shall be removed following the termination of the current lease on October 31, 2028
7. A parking area shall be installed in accordance with Article 19 of the Zoning Ordinance; any vehicles stored on the site for repair shall be located in paved, striped spaces.
8. If an entrance from the Orchard Street right-of-way is installed, the right-of-way shall be improved to standards acceptable to the Department of Public Works.
9. Any new owner or operator of the property must certify with the Zoning Administrator that the party will be undertaking the same or like endeavor and that their operation will remain in compliance with the approved Special Use Permit.
10. A permit may be revoked by the City of Petersburg City Council or its designated agent for failure by the applicant(s) to comply with any of the listed conditions or any provision of Federal, State, or local regulations.



## City of Petersburg

### Department of Planning and Community Development

#### PROCEDURES FOR PETITION FOR SPECIAL USE PERMITS

1. Applicant files petition with the Petersburg Department of Planning and Community Development, City Hall, 135 N Union Street, Petersburg, Virginia 23803.
2. **The Filing fee for Petitions for Special Use Permits is \$1,500.** A Check or Money Order *made payable to the City of Petersburg* is to accompany the application.
3. A Plat of the property must also accompany the petition.
4. The Department of Planning and Community Development Staff will refer the petition to the Planning Commission to hold a public hearing and consideration the petition. Department of Planning and Community Development staff shall advertise the public hearing twice during a fourteen-day period, and the Planning Commission will hold a public hearing, and make a recommendation to the City Council regarding the petition.
5. The City Council schedules then advertises a public hearing regarding the petition.
6. The City Council holds a public hearing then considers the petition with the Planning Commission recommendation and renders a final decision to approve or disapprove the petition.

*PLEASE NOTE: The special use permit process may take up to three months.*

**PETITION FOR SPECIAL USE PERMIT**

RETURN TO: DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
(CITY HALL, THIRD FLOOR, ROOM 304)  
FILING FEE: \$1,500 (CHECK OR MONEY ORDER) AT THE TIME OF SUBMITTAL

CASE NUMBER: \_\_\_\_\_

APPLICANT: PEDRO ROSARIO

ADDRESS: 3857 S CRATER ROAD, PETERSBURG, VIRGINIA

I, Pedro Rosario hereby petition for a special use permit for \_\_\_\_\_  
at the following described properties:

**A. DESCRIPTION OF PROPOSED USE: (INCLUDE ANY PROPOSED CONDITIONS)**

AUTO REPAIR SHOP PROVIDING ROUTINE VEHICLE MAINTENANCE & REPAIRS SERVICES INSIDE AN ENCLOSED BUILDING. ORGANIZED OUTSIDE PARKING OF VEHICLES AWAITING SERVICE WILL BE LIMITED, STRIPPED SPACES ONLY

**B. PROPERTY INFORMATION**

1. Tax Parcel Identification Number(s):

101090005

2. Current Street Address(es) if assigned:

3857 S CRATER ROAD, PETERSBURG VA

3. Approximate Area:

19,994 sq. ft.

0.459 acres

4. Public Street Frontage:

≅ 102 ft.

5. A boundary plat of this property outlining the area to be use must be attached to this petition.

6. The following deed restrictions may affect the use of this property:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Brief:

Said deed restrictions will expire on: \_\_\_\_\_

**C. JUSTIFICATION FOR SPECIAL USE PERMIT**

1. The proposed use is in the interest of the public health, safety, morals and general welfare of the community because: (Provide a detailed statement of reasons why the proposed use should be granted).

THE PROPOSED AUTO REPAIR SHOP WILL CONSTRUCT A NEW 50' X 100' FACILITY AT 3857 S. CRATER RD & RELOCATE THE EXISTING BUSINESS, LEAVING THE CURRENT LOCATION VACANT. ALL REPAIR WORK WILL OCCUR INSIDE THE BUILDING. THE NEW FACILITY WILL IMPROVE THE APPEARANCE & FUNCTION OF THE COMMERCIAL CORRIDOR, SUPPORT LOCAL JOBS, & PROVIDE A NEEDED COMMUNITY SERVICE.

2. The material impact of the proposed use will not be detrimental to the public welfare of the City nor to adjacent property owner(s) or properties located within the nearby vicinity because: (Specify reasons to substantiate this statement and/or present ways the impact may be mitigated).

ALL ACTIVITIES WILL OCCUR INSIDE THE NEW BUILDING, ENSURING NOISE, ODOR, & WORK OPERATIONS ARE FULLY CONTAINED. VEHICLES AWAITING SERVICE PARKED ONLY IN DESIGNATED SPACES TO MAINTAIN ORDER & CLEAN SITE. THE RELOCATION WILL IMPROVE SITE CONDITIONS, OPERATOR VISUAL QUALITY, & SUPPORT LOCAL EMPLOYMENT WITHOUT CERTAIN NEGATIVE IMPACT.

3. The proposed use will be advantageous to the City and benefit the welfare of the general public because: (Specify reasons to substantiate this statement).

THE PROPOSED USE WILL PROVIDE A NEEDED AUTOMOTIVE SERVICE TO RESIDENTS & BUSINESSES WHILE SUPPORTING LOCAL EMPLOYMENT & ECONOMIC ACTIVITY. RELOCATING THE EXISTING SHOP INTO A NEW, CODE COMPLIANT BUILDING IMPROVES THE VISUAL QUALITY FUNCTION OF THE CORRIDOR.

4. Describe your experience with developing and maintaining the use in question (Provide references and/or examples).

I CURRENTLY OWN & OPERATE PJ AUTO REPAIR SHOP AT 3851 S. CRATER RD, WHERE I HAVE SUCCESSFULLY PROVIDED AUTOMOTIVE REPAIR SERVICES FOR SEVERAL YEARS, I MAINTAIN A CLEAN & PROFESSIONAL OPERATION WITH STRONG CUSTOMER RELATIONSHIPS. RELOCATING TO A NEW BUILDING WILL ALLOW ME TO CONTINUE THE SAME QUALITY OF SERVICE IN AN IMPROVED & MODERN FACILITY.

**D. CERTIFICATION:**

The undersigned applicant certifies that they:

Padro Rosario (a)

are the owner, lessee or agent for (specified in writing)

(b)

possess a proprietary interest in (contract or option agreement)

the property(ies) identified within this PETITION FOR SPECIAL USE PERMIT, and that the foregoing information and statements herein provided, and all other information herewith submitted, are in all respects true and correct to the best of their knowledge and belief.

Signed:

Padro Rosario

Mailing Address:

7136 Bridgeside ct N. Chesterfield VA 23234

Phone Number:

804 840 5386

Email Address:

APPROVED

\_\_\_\_\_  
City Attorney

TO BE FILED IN THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**ACTION RECORD**

Date Filed (with Planning Department):

\_\_\_\_\_

Date of Planning Commission Public Hearing:

\_\_\_\_\_

Planning Commission Action(s):

\_\_\_\_\_

Date of City Council Hearing:

\_\_\_\_\_

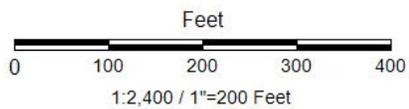
City Council Action(s):

\_\_\_\_\_

# Petersburg, Virginia

## Legend

-  City Boundary
-  Parcels



**Title: Location Map**

**Date: 11/25/2025**

*DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and City of Petersburg is not responsible for its accuracy or how current it may be.*



3857 S CRATER ROAD, PETERSBURG, VIRGINIA 23805

Premier Partner



AMERICAN INSTITUTE of BUILDING DESIGN

MEMBER NUMBER: 7cc5c8b5f1

12/31/2025

AMERICAN INSTITUTE OF BUILDING DESIGN

RESIDENTIAL DESIGNER

MARLOW JONES, PR  
mjones@purecraft-homes.com  
(703)504-5223

CLIENT

ERIKO POKORIO  
eriko\_pokorio@mail.com  
(848)445-5388

METAL BUILDING SUPPLIER

BOE DUTELLE  
boe@boedutellestructures.com  
(888)807-4006

# PCH NEW PJ AUTO REPAIR SHOP

## the 2025-061

# GENERAL NOTES

- GENERAL CONSTRUCTION NOTES:**
- THESE DRAWINGS ESTABLISH THE COLLABORATIVE RELATIONSHIP BETWEEN THE DESIGNER AND THE CLIENT, WITH THE DESIGNER PROVIDING CREATIVE SOLUTIONS AND EXPERTISE TO FULFILL THE CLIENTS VISION AND PROJECT REQUIREMENTS.
  - ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES OR AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
  - ESTABLISH AND MAINTAIN PROJECT SAFETY DURING CONSTRUCTION TO PROTECT PERSONNEL, TENANTS, AND BUILDING OCCUPANTS. REQUIREMENTS INCLUDE, BUT SHALL NOT BE LIMITED TO OSHA PART 1926 LATEST EDITION.
  - THE GENERAL CONTRACTOR SHALL ARRANGE ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL COSTS AND FEES FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING DEPARTMENT.
  - ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND RESIDENTIAL DESIGNER FOR THEIR RECORDS.
  - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE COMMENCEMENT OF THE WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE RESIDENTIAL DESIGNER. DRAWINGS MAY BE SCALED FOR ESTIMATING PURPOSES AND FOR GENERAL REFERENCE ONLY. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT THE RESIDENTIAL DESIGNER OR REFER TO DIMENSIONS ON DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
  - CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS, LOCATIONS, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT (WHETHER SUPPLIED BY THE OWNER OR OTHERS) WITH THE SUPPLIER OR MANUFACTURER PRIOR TO THE START OF RELATED WORK.
  - THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC.
  - THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.
  - THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - ANY VARIATIONS FROM INDICATED DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE RESIDENTIAL DESIGNER.
  - NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE RESIDENTIAL DESIGNER.
  - NO CUTTING OR DAMAGE TO BUILDING STRUCTURAL COMPONENTS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE RESIDENTIAL DESIGNER.
  - PROVIDE BRACING, BLOCKING, AND/OR STRUCTURE AS REQUIRED TO FACILITATE INSTALLATION OF ALL WALL AND MILLWORK MOUNTED EQUIPMENT, IN NEW AND EXISTING WALLS THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUPPORT REQUIRED TO MAINTAIN THE INTEGRITY OF THE WALLS AND THE SECURITY OF THE EQUIPMENT.
  - ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS. WOOD BLOCKING SHALL **BIMOUSTURE TREATED IF LOCATED IN DAMP LOCATIONS OR ADJACENT TO CONCRETE OR MASONRY CONSTRUCTION** ; IF WOOD BLOCKING IS NOT PERMITTED BY CODE, THEN METAL STRIPS SHALL BE USED.
  - THE CONTRACTOR IS RESPONSIBLE FOR FIELD DIMENSIONS OF ALL MILLWORK, GLASS, DOOR OPENINGS, AND OTHER STRUCTURES PRIOR TO COMMENCEMENT OF FABRICATION.
  - ALL WORK SHALL CONFORM IN QUALITY TO ACCEPTED INDUSTRY STANDARDS. ALL MILLWORK SHALL CONFORM TO A.W.I. PREMIUM GRADE STANDARDS, UNLESS OTHERWISE NOTED.
  - THE MATERIALS USED FOR CONSTRUCTION OF SPACE SHALL NOT CONTAIN ASBESTOS, P.C.B. OR ANY OTHER HAZARDOUS MATERIALS OF ANY TYPE. MANUFACTURERS' NAMES AND TRADEMARKS SHALL NOT BE PROMINENTLY VISIBLE TO THE PUBLIC.
  - ALL WALLS TO BE LAID OUT AT 90 DEGREE ANGLES UNLESS OTHERWISE NOTED.
  - THE SCOPE OF WORK OF ALL TRADES IS TO INCLUDE ALL MATERIALS AND LABOR REQUIRED TO TOTALLY COMPLETE THE PROJECT AND BE FUNCTIONALLY CONSISTENT WITH THE DESIGN INTENT AS EXPRESSED IN THE CONSTRUCTION DOCUMENTS.
  - ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT **WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT, EQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.**
  - ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PROCEDURES.
  - THERMOSTATS SHALL NOT BE LOCATED IN THE CENTER OF A WALL, ON AN ACCENT/SPECIALTY WALL, OR IN A LOCATION WHICH CONFLICTS WITH FURNISHINGS WITHOUT THE ARCHITECT'S APPROVAL.
  - WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS.
  - MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE RESIDENTIAL DESIGNER SHALL BE INCLUDED IN THE WORK AS INDICATED ON THE DRAWINGS.
  - ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY ALL. NO DEVIATION FROM THE DRAWINGS SHALL BE MADE WITHOUT THE RESIDENTIAL DESIGNER'S WRITTEN AUTHORIZATION.
  - ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL APPROVAL. THE GENERAL CONTRACTOR SHALL SIGN THE WRITTEN GUARANTEE AS PROVIDED BY THE OWNER. THE GUARANTEE SHALL COVER ALL GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THIS PERIOD SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - ALL DIMENSIONS ARE TO FACE OF STUD** OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED.
  - DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES. DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS UNLESS OTHERWISE NOTED.

# LEGEND

- Wall Type (see wall type schedule)
- Door Type (see door schedule)
- Window Type (see window schedule)
- Building Section
- Wall Section
- Detail Number
- Building Elevation
- Interior Elevation
- Elevation Mark
- Room Name / Number
- Column Line
- Centerline
- Revision Tag

- A.C.I. AMERICAN CONCRETE INSTITUTE
- BLDG. BUILDING
- CONC. CONCRETE
- C.J. CONTROL JOINT
- COL. COLUMN
- DET. DETAIL
- DIA. DIAMETER
- DN. DOWN
- EL/ELEV. ELEVATION
- ELEC. ELECTRICAL
- EQ. EQUAL
- FIN. FINISH
- FLR. FLOOR
- GALV. GALVANIZED
- GYP. GYPSUM
- I.D. INSIDE DIAMETER
- JT. JOINT
- MECH. MECHANICAL
- MIN. MINIMUM
- N.T.S. NOT TO SCALE
- NO. NUMBER
- O.C. ON CENTER
- OPG. OPENING
- O.D. OUTSIDE DIAMETER
- U.N.O. UNLESS NOTED OTHERWISE
- REF. REFERENCE
- R. RISER
- R.O. ROUGH OPENING
- RM. ROOM
- S./STL. STAINLESS STEEL
- STRUCT. STRUCTURAL
- SPEC. SPECIFICATIONS
- T.O. TOP OF (...)
- T.O.CONC. TOP OF CONCRETE
- T.O.F. TOP OF FRAMING
- T.O.STL. TOP OF STEEL
- T.O.W. TOP OF WALL
- T. TREAD
- TYP. TYPICAL
- @ AT
- + AND
- BD. BOARD
- A.F.F. ABOVE FINISHED FLOOR
- U.N.O. UNLESS OTHERWISE NOTED
- V.L.F. VERIFY IN FIELD

# DRAWING LIST

- C0.0 COVER PAGE
- G0.1 GENERAL NOTES
- G0.2 DRAWING STANDARDS
- C0.1 ARCHITECTURAL SITE PLAN
- C0.2 ARCHITECTURAL SITE PLAN DETAILS
- C0.3 ARCHITECTURAL SITE RENDERINGS
- C0.4 ARCHITECTURAL SITE RENDERINGS
- C0.5 ARCHITECTURAL SITE RENDERINGS
- C0.6 ARCHITECTURAL SITE RENDERINGS
- C0.7 ARCHITECTURAL SITE RENDERINGS
- A0.1 NEW WORK FOUNDATION PLAN
- A0.1a NEW WORK FOUNDATION DETAILS
- A1.1 NEW WORK FLOOR PLAN
- A1.2 NEW WORK ROOF PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS

# SCOPE OF WORK

THE SCOPE OF WORK CONSISTS OF THE CONSTRUCTION OF A NEW 100'-0" x 50'-0" (5,000 SF) SINGLE-STORY AUTO REPAIR FACILITY ON THE SUBJECT PROPERTY. THE PROJECT INCLUDES AN 80'-0" x 50'-0" PRE-ENGINEERED METAL BUILDING (PEMB) SUPPLIED AND ENGINEERED BY THE METAL BUILDING MANUFACTURER TO HOUSE THE AUTO MECHANIC SHOP AND SERVICE BAYS, AND A 20'-0" x 50'-0" CONVENTIONALLY CONSTRUCTED SUPPORT AREA FRAMED WITH NON-LOAD-BEARING COLD-FORMED METAL STUDS TO ACCOMMODATE THE WAITING AREA, RECEPTION, OFFICE, RESTROOM, AND EMPLOYEE ROOM. THE BUILDING WILL BE CONSTRUCTED ON A 6-INCH CONCRETE SLAB-ON-GRADE WITH INTEGRAL TURNDOWN FOOTINGS, WITH CONTROL JOINTS PROVIDED AT GRID LINES AS INDICATED. ALL VEHICLE REPAIR ACTIVITIES WILL OCCUR WITHIN THE ENCLOSED SHOP AREA. ASSOCIATED WORK INCLUDES INTERIOR PARTITIONS, DOORS, FINISHES, UTILITIES, SITE ACCESS, PARKING, LANDSCAPING, SCREENING, AND COORDINATION WITH EXISTING SITE FEATURES, INCLUDING MAINTENANCE ACCESS TO THE EXISTING BILLBOARD. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, APPLICABLE ZONING ORDINANCES, AND APPROVED CONSTRUCTION DOCUMENTS.

# DISCLAIMER

IN ACCORDANCE WITH THE CODE OF VIRGINIA § 54.1-402, A LICENSED ARCHITECT IS NOT REQUIRED FOR THE DESIGN OF SINGLE-FAMILY HOMES, DUPLEXES, OR OTHER RESIDENTIAL STRUCTURES OF UP TO TWO STORIES. THESE DRAWINGS HAVE BEEN PREPARED BY A QUALIFIED RESIDENTIAL DESIGNER AND ARE INTENDED FOR USE WITHIN THE SCOPE OF RESIDENTIAL PROJECTS AS PERMITTED BY VIRGINIA LAW.

# CODE ANALYSIS

CODE EDITION: VIRGINIA CONSTRUCTION CODE, 2021  
 USE GROUP: S-3, B  
 CONSTRUCTION TYPE: II-B (NON-COMBUSTIBLE CONSTRUCTION)

CONDITIONED SPACE SQ FT  
 1ST FLOOR: 5000 SQ FT

BUILDING SITE COVERAGE  
 SITE AREA: 20,700 SQ FT  
 APPROXIMATE HEIGHT: 22'-0"

# DESIGN CRITERIA

FLOOR LIVE LOAD: 125 PSF  
 OFFICE ROOMS LIVE LOAD: 40 PSF  
 ROOF LIVE LOAD: 20 PSF  
 GROUND SNOW LOAD (ASCE): 5 PSF  
 BASIC WIND SPEED: 115 MPH, RISK CATEGORY II  
 SEISMIC CATEGORY: C  
 FROST/FOOTING DEPTH: 18 INCHES

# ENERGY CODE

SYSTEM: 2021 IECC CODE REQUIRED MINIMUMS  
 Windows: U-Value: 0.38  
 Ceiling: R30  
 Walls: R13 or R13 (cavity) + R3.8 (insulated shtg)  
 Slab: R10

STAMP SEAL



Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, FREDERICKSBURG, VIRGINIA 22405

Project No. 200861

12/31/2025

Revisions

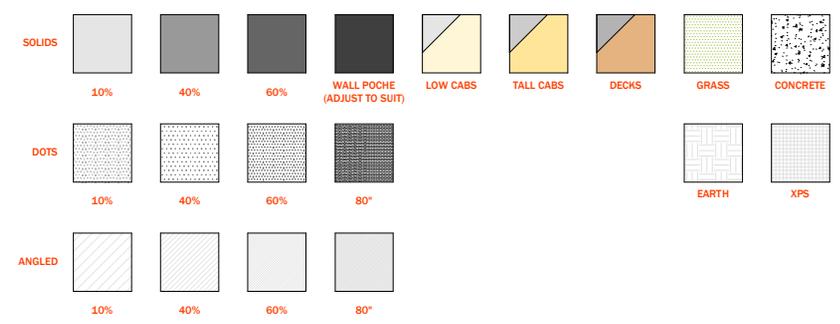
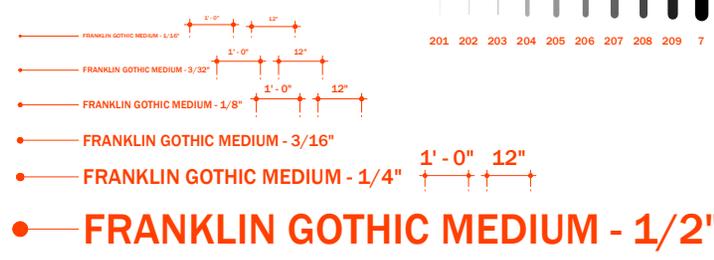
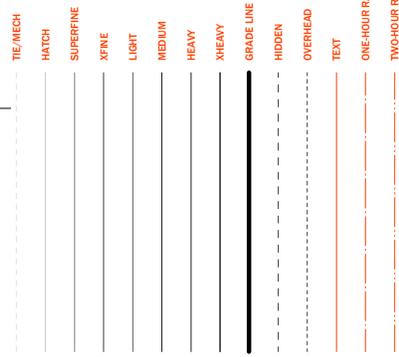
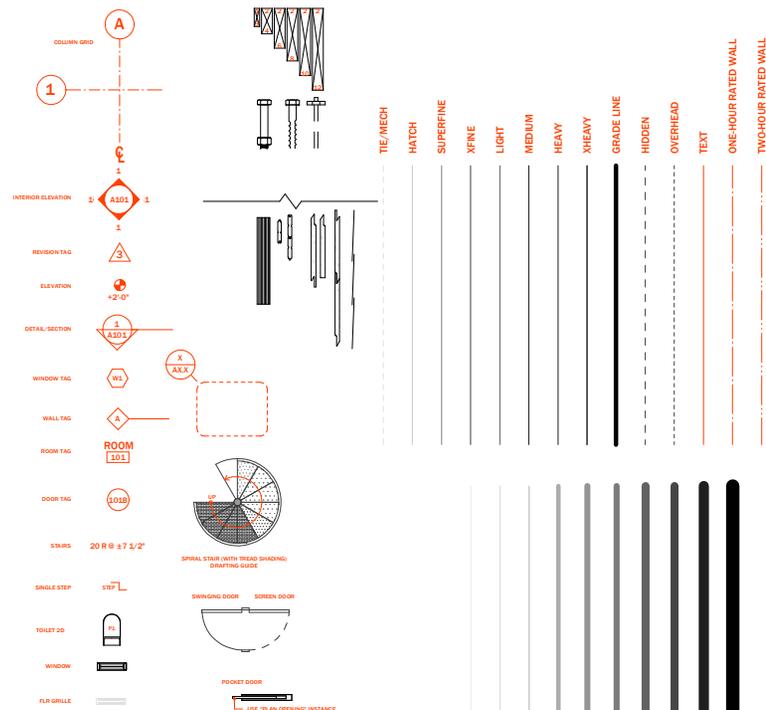

Name  
 1. PERMIT DRAWINGS  
 2.  
 3.

Scale: 1/4" = 1'-0"

GENERAL NOTES

# GO.1

Sheet No. 02025



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, FERRISBURG, VIRGINIA 22085

Project No. 2025061

12/31/2025

Revisions

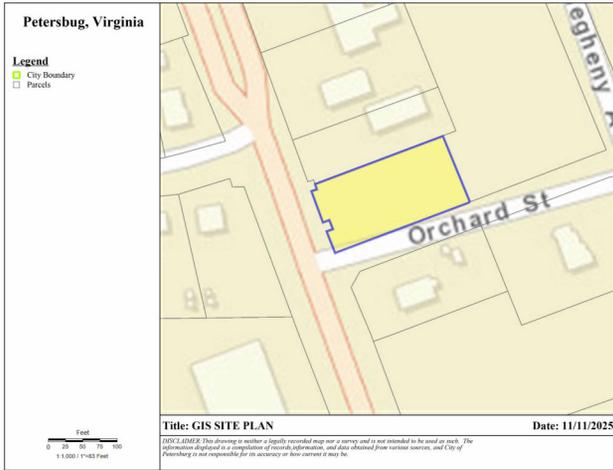

Note  
1. PERMIT DRAWINGS  
2.  
3.

Scale As Indicated

DRAWING STANDARDS

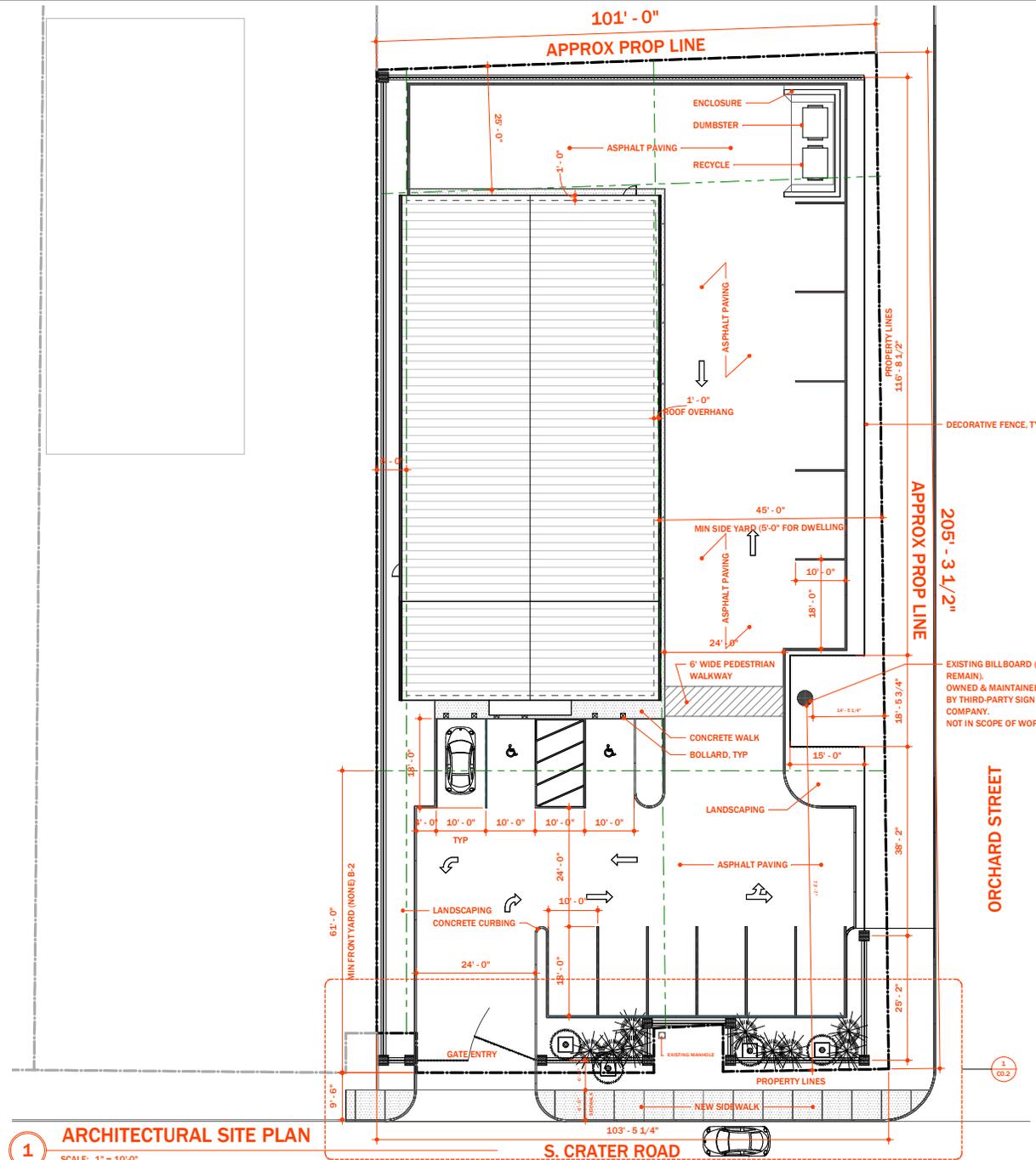
**G0.2**

Sheet No. 02025



**ARCHITECTURAL SITE PLAN NOTES**

- PROPOSED NEW 50'-0" x 100'-0" PRE-ENGINEERED METAL BUILDING FOR AUTO REPAIR SHOP USE.
- PROPERTY IS ZONED B-2, GENERAL COMMERCIAL DISTRICT. PROPOSED USE IS CONSISTENT WITH PERMITTED SERVICE AND REPAIR ESTABLISHMENTS.
- EXISTING AUTO REPAIR BUSINESS LOCATED AT 3851 S. CRATER ROAD WILL RELOCATE TO THIS SITE. NO DUAL OPERATIONS SHALL OCCUR.
- ALL VEHICLE SERVICE AND REPAIR ACTIVITIES SHALL OCCUR WITHIN THE ENCLOSED BUILDING.
- OUTDOOR PARKING IS PROVIDED FOR CUSTOMER VEHICLES AWAITING SERVICE ONLY. NO LONG-TERM STORAGE, JUNK VEHICLES, OR INOPERABLE VEHICLES SHALL BE STORED ON SITE.
- THE SITE SHALL NOT OPERATE AS A VEHICLE STORAGE, IMPOUND, RECOVERY, OR TOW LOT.
- SITE ACCESS IS PROVIDED FROM S. CRATER ROAD SHALL BE MAINTAINED IN ACCORDANCE WITH VDOT AND CITY OF PETERSBURG STANDARDS.
- MINIMUM SETBACKS AND YARD REQUIREMENTS ARE PROVIDED IN ACCORDANCE WITH ARTICLE 22 OF THE PETERSBURG ZONING ORDINANCE.
- REQUIRED OFF-STREET PARKING IS PROVIDED IN ACCORDANCE WITH ARTICLE 19 OF THE PETERSBURG ZONING ORDINANCE.
- ALL STORMWATER MANAGEMENT AND DRAINAGE SHALL COMPLY WITH APPLICABLE CITY AND STATE REGULATIONS.
- SITE LIGHTING SHALL BE DOWNWARD-DIRECTED AND SHIELDED TO PREVENT GLARE ONTO ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY.
- TRASH AND RECYCLING SHALL BE STORED WITHIN A DESIGNATED ENCLOSURE AND REMOVED REGULARLY.
- NEW UTILITY CONNECTIONS AND SERVICE LINES SHALL BE COORDINATED WITH THE CITY OF PETERSBURG PUBLIC WORKS DEPARTMENT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE VIRGINIA UNIFORM STATE BUILDING CODE (VUSBC) AND ALL OTHER APPLICABLE CODES AND ORDINANCES.



**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"

STAMP SEAL

**PURECRAFT HOMES**

Premier Partner

**A I B D**  
AMERICAN INSTITUTE OF BUILDING DESIGN  
MEMBER NUMBER: 77050601

**PCH NEW PJ AUTO REPAIR SHOP**  
2025-061  
3857 S. CRATER ROAD, PETERSBURG, VIRGINIA 23085

Project No. 200861

**12/31/2025**

Revisions

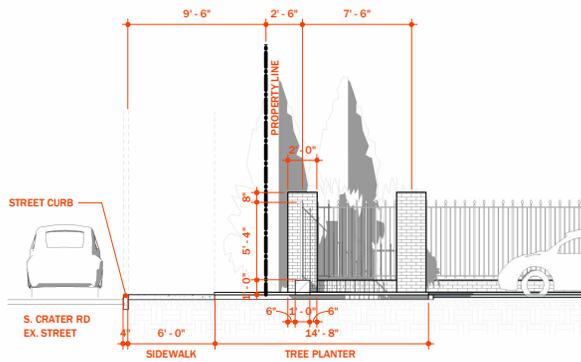
1. PERMIT DRAWINGS

Scale 1" = 10'-0"

**ARCHITECTURAL SITE PLAN**

**C0.1**

Sheet No. 0205



## 2 STREETScape SECTION

SCALE: 1/4" = 1'-0"

## BILLBOARD - EXISTING CONDITION

AN EXISTING BILLBOARD IS LOCATED ON THE SITE PURSUANT TO A THIRD-PARTY EASEMENT/AGREEMENT AND IS OWNED AND MAINTAINED BY A THIRD-PARTY SIGN COMPANY.

THE APPLICANT DOES NOT HAVE LEGAL AUTHORITY TO REMOVE, ALTER, OR MODIFY THE EXISTING BILLBOARD STRUCTURE.

THE EXISTING BILLBOARD SHALL REMAIN AND SHALL NOT INTERFERE WITH THE PROPOSED AUTO REPAIR OPERATIONS.

A DESIGNATED PAVED ACCESS AREA IS PROVIDED AND SHALL BE MAINTAINED AT ALL TIMES TO ALLOW UNRESTRICTED VEHICLE AND EQUIPMENT ACCESS FOR BILLBOARD MAINTENANCE AND SIGN CHANGES.

NO PARKING, STORAGE, OR OBSTRUCTION SHALL BE PERMITTED WITHIN THE BILLBOARD ACCESS AREA.

## SCREENING, LANDSCAPING & BEAUTIFICATION

A DECORATIVE METAL FENCE WITH MASONRY PIERS SHALL BE INSTALLED ALONG STREET FRONTAGES AND PERIMETER LOCATIONS AS SHOWN ON THE SITE PLAN TO ENHANCE SITE APPEARANCE AND PROVIDE VISUAL DEFINITION.

LANDSCAPE SCREENING SHALL BE PROVIDED ALONG STREET FRONTAGES AND PERIMETER AREAS IN ACCORDANCE WITH ARTICLE 23 OF THE PETERSBURG ZONING ORDINANCE.

SCREENING SHALL CONSIST OF EVERGREEN TREES TO PROVIDE YEAR-ROUND VISUAL BUFFERING AND SITE BEAUTIFICATION.

PROPOSED EVERGREEN TREE SPECIES SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, OR APPROVED EQUAL:

THUJA 'GREEN GIANT' (ARBORVITAE)

EASTERN RED CEDAR (JUNIPERUS VIRGINIANA)

NELLIE R. STEVENS HOLLY

EVERGREEN TREES SHALL BE INSTALLED AT A MINIMUM HEIGHT OF SIX FEET (6'-0") AT TIME OF PLANTING AND SPACED TO PROVIDE CONTINUOUS SCREENING AT MATURITY.

ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT, HEALTHY CONDITION AND REPLACED AS NECESSARY TO ENSURE CONTINUED COMPLIANCE WITH BEAUTIFICATION REQUIREMENTS.

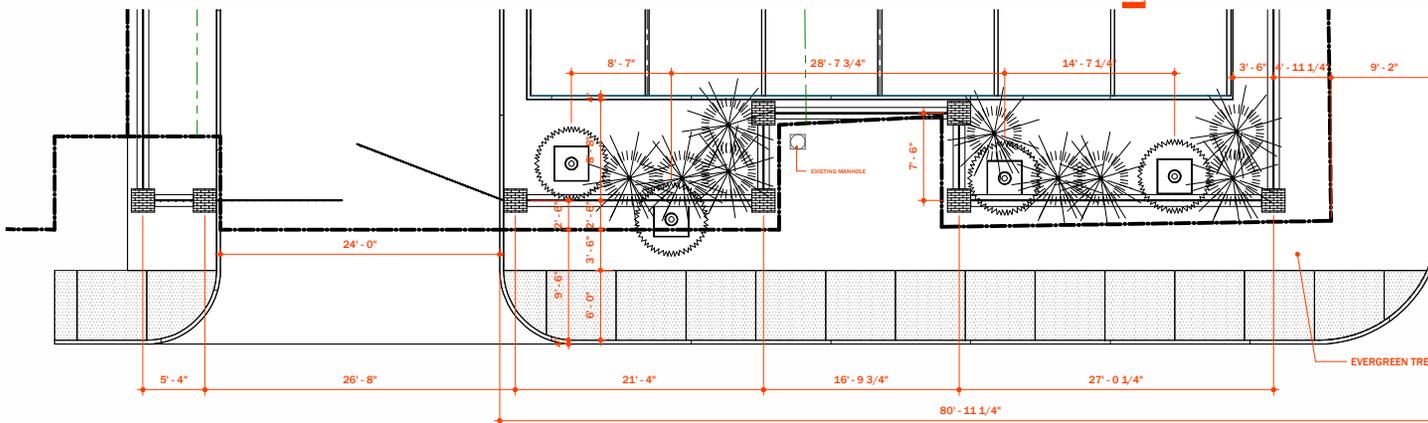
THE COMBINATION OF DECORATIVE FENCING, EVERGREEN LANDSCAPING, AND SITE SETBACKS IS INTENDED TO ENHANCE THE VISUAL CHARACTER OF THE S. CRATER ROAD AND ORCHARD STREET CORRIDORS AND SUPPORT THE CITY'S BEAUTIFICATION GOALS.

FINAL LANDSCAPE MATERIALS, TREE SPECIES, AND LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF PETERSBURG PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



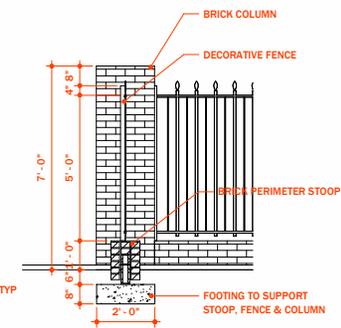
## 3 SITE FRONT ELEVATION

SCALE: 1:60



## 1 ENLARGED SITE ENTRANCE PLAN (SITE IMPROVEMENT)

SCALE: 1:60



## 4 FENCE DETAIL

SCALE: 1/2" = 1'-0"

STAMP SEAL



Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CRATER ROAD, PETERSBURG, VIRGINIA 23050

Project No. 2025061

12/31/2025

Revisions


Note:  
1. PERMIT DRAWINGS  
2.

Scale: As Indicated

ARCHITECTURAL SITE PLAN DETAILS

C0.2

Sheet No. 02025

## ARCHITECTURAL SITE RENDERING NOTES

THESE RENDERINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE INTENDED TO CONVEY THE OVERALL DESIGN INTENT, SCALE, MATERIAL CHARACTER, AND SITE ORGANIZATION OF THE PROPOSED DEVELOPMENT.

THE PROPOSED AUTO REPAIR FACILITY IS DESIGNED AS A LOW-PROFILE, CLEAN, AND WELL-ORGANIZED COMMERCIAL USE THAT COMPLEMENTS THE SURROUNDING CORRIDOR AND ADJACENT PROPERTIES.

THE BUILDING ARCHITECTURE EMPHASIZES A SIMPLE FORM, NEUTRAL COLORS, AND DURABLE MATERIALS TO PRESENT A PROFESSIONAL AND MAINTAINED APPEARANCE CONSISTENT WITH CITY BEAUTIFICATION GOALS.

ALL VEHICLE SERVICE AND REPAIR ACTIVITIES ARE INTENDED TO OCCUR WITHIN THE ENCLOSED BUILDING, NO OUTDOOR REPAIR ACTIVITIES ARE PROPOSED.

PARKING AREAS ARE ORGANIZED AND STRIPED TO PROMOTE SAFE VEHICLE CIRCULATION, CLEAR SIGHTLINES, AND AN ORDERLY SITE LAYOUT.

## SCREENING, FENCING, & LANDSCAPE INTENT

DECORATIVE METAL FENCING WITH MASONRY PIERS IS PROVIDED ALONG STREET FRONTAGES AND PERIMETER AREAS TO DEFINE THE SITE EDGE, ENHANCE SECURITY, AND IMPROVE VISUAL APPEARANCE.

EVERGREEN LANDSCAPING IS USED ALONG THE PERIMETER AND STREET FRONTAGES TO PROVIDE YEAR-ROUND VISUAL SCREENING AND TO SOFTEN THE APPEARANCE OF PARKING AND OPERATIONAL AREAS.

TREE PLANTINGS SHOWN IN THE RENDERINGS REPRESENT PROPOSED EVERGREEN SPECIES SUCH AS THUJA 'GREEN GIANT', EASTERN RED CEDAR, OR NELLIE R. STEVENS HOLLY, OR APPROVED EQUAL.

THE COMBINATION OF DECORATIVE FENCING AND EVERGREEN LANDSCAPING IS INTENDED TO MEET THE SCREENING AND BEAUTIFICATION OBJECTIVES OF THE PETERSBURG ZONING ORDINANCE.

## BILLBOARD CONTEXT & COMPATIBILITY

THE EXISTING BILLBOARD SHOWN IN THE RENDERINGS IS AN EXISTING CONDITION OWNED AND MAINTAINED BY A THIRD-PARTY SIGN COMPANY AND IS NOT PART OF THE PROPOSED DEVELOPMENT SCOPE.

THE SITE DESIGN INTENTIONALLY MAINTAINS CLEAR, PAVED ACCESS TO THE BILLBOARD STRUCTURE TO ALLOW MAINTENANCE AND SIGN CHANGES WITHOUT INTERFERING WITH SITE OPERATIONS.

NO PARKING OR STORAGE IS PERMITTED WITHIN THE BILLBOARD ACCESS AREA, AS DEPICTED IN THE SITE PLAN AND ILLUSTRATED IN THE RENDERINGS.

LANDSCAPING AND FENCING ARE ARRANGED TO VISUALLY INTEGRATE THE BILLBOARD INTO THE SITE WHILE MAINTAINING A CLEAN AND ORDERLY APPEARANCE FROM PUBLIC VIEW.

## OVERALL PROJECT INTENT

THE RENDERINGS DEMONSTRATE THE INTENDED RELATIONSHIP BETWEEN THE BUILDING, PARKING, LANDSCAPING, AND STREET FRONTAGES TO CREATE A COHESIVE AND ATTRACTIVE COMMERCIAL DEVELOPMENT.

THE PROPOSED DESIGN SEEKS TO ENHANCE THE VISUAL CHARACTER OF THE S. CRATER ROAD AND ORCHARD STREET CORRIDORS WHILE SUPPORTING A FUNCTIONAL AND COMPLIANT AUTO REPAIR USE.

FINAL MATERIALS, COLORS, AND LANDSCAPE INSTALLATIONS SHALL BE SUBJECT TO CITY REVIEW AND APPROVAL IN ACCORDANCE WITH APPLICABLE ORDINANCES AND PERMIT REQUIREMENTS.



STAMP SEAL



Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CRATER ROAD, PETERSBURG, VIRGINIA 23085

Project No. 200861

12/31/2025

Revisions

No.	Description

Note  
1. PERMIT DRAWINGS  
2.  
3.

Scale

ARCHITECTURAL  
SITE RENDERINGS

C0.3

Sheet No. 02025



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Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23085

Project No. 200061

12/31/2025

Revisions


Note  
1. PERMIT DRAWINGS  
2.  
3.

Scale

ARCHITECTURAL  
SITE RENDERINGS

**C0.4**

Sheet No. 02025



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Premier Partner



AMERICAN INSTITUTE of BUILDING DESIGN  
MEMBER NUMBER: 740506061

PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, FREDERICKSBURG, VIRGINIA 22405

Project No. 202501

12/31/2025

Revisions


Notes  
1. PERMIT DRAWINGS  
2.  
3.

Scale

ARCHITECTURAL SITE RENDERINGS

**C0.5**

Sheet No. 02025



STAMP SEAL



Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
 2025-061  
3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23080

Project No. 200861

12/31/2025

Revisions


Note

1. PERMIT DRAWINGS
- 2.
- 3.

Scale

ARCHITECTURAL  
SITE RENDERINGS

**C0.6**

Sheet No. 02025

STAMP SEAL



Premier Partner



AMERICAN INSTITUTE of BUILDING DESIGN  
MEMBER NUMBER: 700200001

PCH NEW PJ AUTO REPAIR SHOP  
2025-061

3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23080

Project No. 200061

12/31/2025

Revisions


Name  
1. PERMIT DRAWINGS  
2.  
3.

Scale

ARCHITECTURAL SITE RENDERINGS

C0.7

Sheet No. 02005



# FOUNDATION/ SLAB ON GRADE NTOES

**SUBGRADE / EARTHWORK**  
 CONTRACTOR SHALL VERIFY SUBGRADE IS UNDISTURBED, COMPETENT SOIL OR PROPERLY COMPACTED STRUCTURAL FILL PRIOR TO PLACEMENT OF BASE AND CONCRETE.  
 REMOVE ORGANIC MATERIAL, TOPSOIL, DEBRIS, SOFT/UNSTABLE AREAS, AND REPLACE WITH COMPACTED STRUCTURAL FILL.  
 PROVIDE PROOF-ROLLING OF BUILDING PAD TO IDENTIFY SOFT SPOTS; REMOVE AND RECOMPACT AS REQUIRED.  
 FILL PLACEMENT SHALL BE IN MAX 8" LIFTS AND COMPACTED TO 95% OF MODIFIED PROCTOR (ASTM D1557) UNDER SLABS/FOUNDATIONS UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL RECOMMENDATIONS.  
 MINIMUM COMPACTED GRANULAR BASE: 4" (MIN) CRUSHED STONE / VDOT #57 OR APPROVED EQUIVALENT UNDER ALL SLABS (UNLESS OTHERWISE NOTED).

**SLAB-ON-GRADE**  
 PROVIDE 6" THICK NORMAL-WEIGHT CONCRETE SLAB-ON-GRADE OVER GRANULAR BASE.  
 SLAB SHALL BE PLACED ON PROPERLY COMPACTED SUBGRADE AND GRANULAR BASE; DO NOT PLACE CONCRETE ON FROZEN SUBGRADE OR STANDING WATER.  
 PROVIDE VAPOR RETARDER: 10 MIL (MIN) POLYETHYLENE, LAPPED 6" (MIN) AT JOINTS AND TAPED; EXTEND TO SLAB EDGES AND PENETRATIONS (COORDINATE WITH PEMB/ DETAILS).  
 PROVIDE TERMITE TREATMENT WHERE REQUIRED BY CODE / LOCAL PRACTICE AND SITE CONDITIONS; COORDINATE WITH LICENSED PEST CONTROL PROVIDER.

**THICKENED EDGE / TURNDOWN FOOTING**  
 PROVIDE CONTINUOUS THICKENED SLAB EDGE (TURNDOWN FOOTING) AT PERIMETER OF BUILDING (AND AT INTERIOR THICKENED LINES WHERE REQUIRED BY METAL BUILDING MANUFACTURER).  
 TURNDOWN FOOTING WIDTH/DEPTH AND REINFORCEMENT SHALL BE PER METAL BUILDING FOUNDATION REACTIONS AND/OR ENGINEERED FOUNDATION DESIGN.  
 BOTTOM OF FOOTING SHALL BE SET BELOW LOCAL FROST DEPTH AND ON COMPETENT SOIL. IF LOCAL FROST DEPTH IS NOT SPECIFIED ON THE PLANS, SET FOOTING BEARING ELEVATION PER CITY OF PETERSBURG REQUIREMENTS AND FIELD VERIFIED CONDITIONS.)

**CONCRETE MATERIALS**  
 CONCRETE SHALL CONFORM TO ASTM C94.  
 MIN COMPRESSIVE STRENGTH: SLAB F'C = 3,500 PSI (MIN); FOOTINGS/THICKENED EDGE F'C = 3,000 PSI (MIN) UNLESS OTHERWISE REQUIRED BY ENGINEER OR PEMB DESIGN.  
 AIR ENTRAINMENT AND ADMIXTURES SHALL BE PER MIX DESIGN AND WEATHER CONDITIONS; CALCIUM CHLORIDE ADMIXTURES NOT PERMITTED.

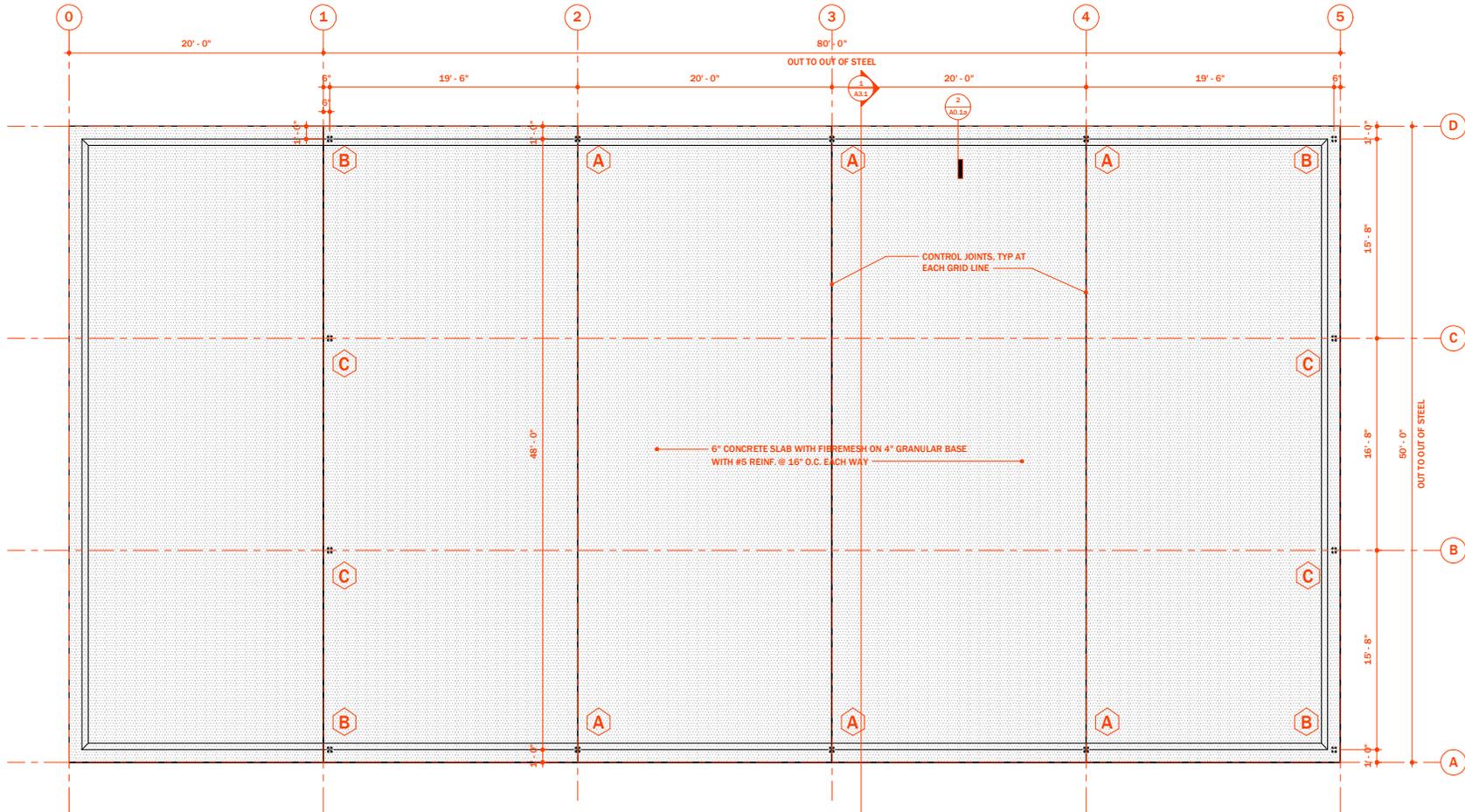
**REINFORCEMENT / ANCHORAGE**  
 SLAB AND TURNDOWN REINFORCEMENT SHALL BE PROVIDED AS INDICATED ON PLANS AND/OR AS REQUIRED BY ENGINEERED FOUNDATION DESIGN AND METAL BUILDING MANUFACTURER.  
 ANCHOR BOLTS/RODS SHALL BE LOCATED PER PEMB ANCHOR BOLT SETTING PLAN; TEMPLATE/SETTING SHALL BE VERIFIED PRIOR TO CONCRETE PLACEMENT.  
 PROVIDE REBAR SUPPORTS/CHAIRS TO MAINTAIN REQUIRED POSITION AND CONCRETE COVER.  
 MINIMUM CONCRETE COVER SHALL CONFORM TO ACI REQUIREMENTS (TYPICAL: 3" WHERE CAST AGAINST EARTH, 2" TO WEATHER/EARTH FOR #6 AND LARGER, 1-1/2" FOR #5 AND SMALLER, AND 3/4" (MIN) IN SLABS UNLESS NOTED OTHERWISE).

**CONTROL JOINTS (REQUIRED)**  
 PROVIDE CONTROL JOINTS AT EACH GRID LINE, TYPICAL, UNLESS OTHERWISE NOTED.  
 CONTROL JOINTS SHALL BE SAW-CUT OR TOOLED TO A DEPTH OF 1/4 SLAB THICKNESS (MIN).  
 CONTROL JOINTS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER FINISHING (TYPICALLY SAME DAY) TO MINIMIZE RANDOM CRACKING.  
 CONTROL JOINT LAYOUT SHALL BE COORDINATED WITH DOOR OPENINGS, COLUMN LINES, AND EQUIPMENT PADS TO AVOID "T" INTERSECTIONS WHERE POSSIBLE.

**ISOLATION JOINTS**  
 PROVIDE ISOLATION JOINTS AT SLAB-TO-WALL/FOUNDATION INTERFACES WHERE REQUIRED, AROUND COLUMNS/POSTS, AT EQUIPMENT PADS, AND AT PENETRATIONS AS NEEDED TO ALLOW MOVEMENT AND REDUCE RESTRAINT CRACKING.

**SLAB FINISH / SLOPES**  
 PROVIDE SMOOTH, HARD-TROWEL FINISH IN SHOP AREAS UNLESS OTHERWISE NOTED. VERIFY REQUIRED SLOPES TO FLOOR DRAINS (IF ANY) AND COORDINATE WITH PLUMBING DRAWINGS/OWNER EQUIPMENT. (IF NO DRAINS ARE PROVIDED, CONFIRM FINAL FLOOR SLOPES WITH OWNER REQUIREMENTS.)

**FIELD VERIFICATION / COORDINATION**  
 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, PROPERTY CONDITIONS, AND UTILITY LOCATIONS PRIOR TO EXCAVATION.  
 COORDINATE FOUNDATION ELEVATIONS AND ANY REQUIRED UNDER-SLAB UTILITIES WITH CIVIL/MEP PLANS BEFORE POUR.  
 ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND PLANS SHALL BE REPORTED TO DESIGNER/ENGINEER BEFORE PROCEEDING



**NEW WORK FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

1

STAMP SEAL

PURECRAFT HOMES

Premier Partner

**AI**  
**BD**

AMERICAN INSTITUTE of BUILDING DESIGN  
 MEMBER NUMBER: 7cd06b01

PCH NEW PJ AUTO REPAIR SHOP  
 2025-061

3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23080

Project No. 200881

12/31/2025

Revisions

1. PERMIT DRAWINGS

2.

3.

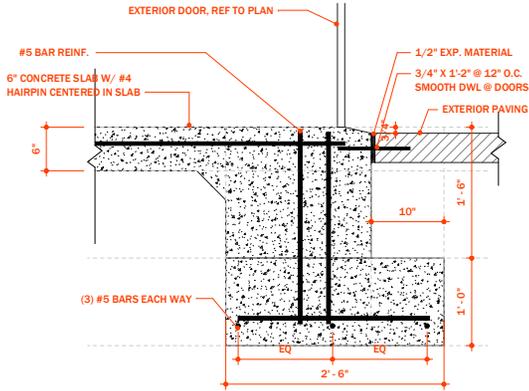
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Scale 1/4" = 1'-0"

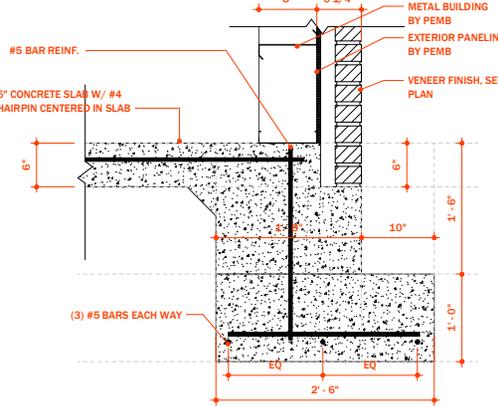
**NEW WORK FOUNDATION PLAN**

**A0.1**

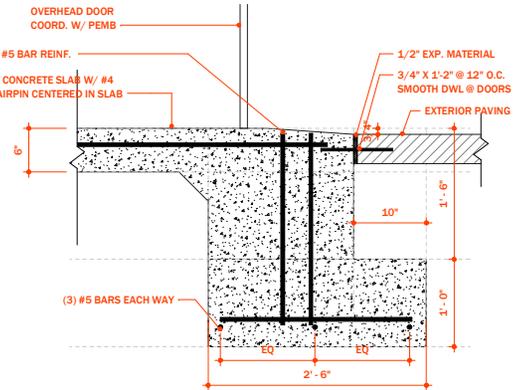
Sheet No. 0205



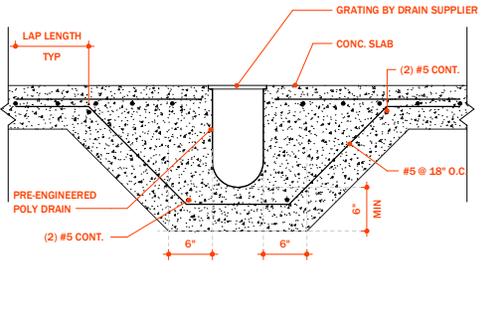
**4 SECTION AT DOOR**  
SCALE: 1 1/2" = 1'-0"



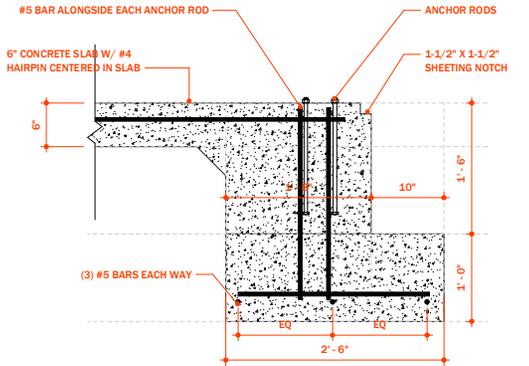
**5 FOUNDATION DETAIL W/ BRICK**  
SCALE: 1 1/2" = 1'-0"



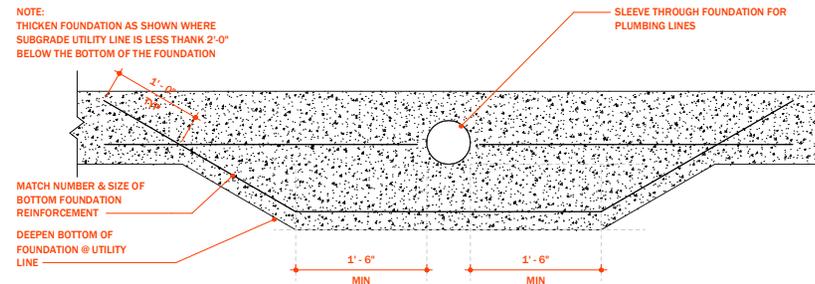
**3 SECTION AT OVERHEAD DOOR**  
SCALE: 1 1/2" = 1'-0"



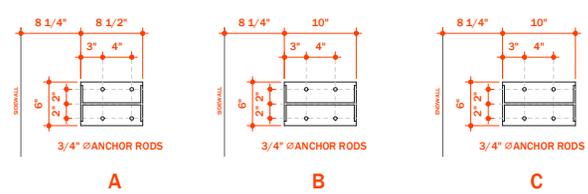
**6 TRENCH DRAIN DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 FOUNDATION DETAIL**  
SCALE: 1 1/2" = 1'-0"



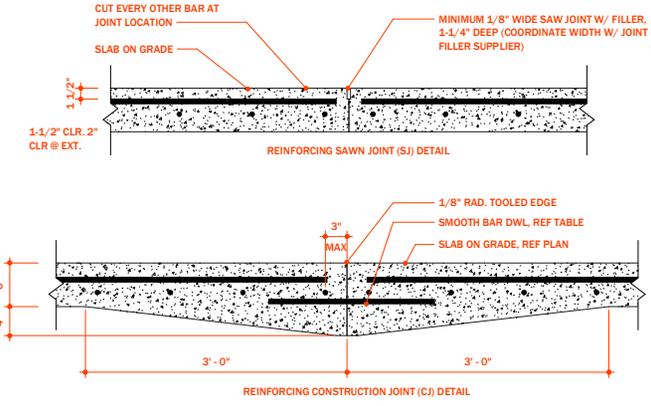
**1 THICKENED FOUNDATION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**8 ANCHOR ROD PLAN**  
SCALE: 1 1/2" = 1'-0"

**SMOOTH BAR DOWELS**

SLAB DEPTH	DOWEL DIMENSIONS	DOWEL SPACING
4" TO 6"	3/4"Ø X 1'-2"	12" O.C.
7" TO 8"	1"Ø X 1'-4"	12" O.C.
9" TO 11"	1-1/4"Ø X 1'-6"	12" O.C.



**7 TYP SLAB ON GRADE JOINT DETAIL**  
SCALE: 1 1/2" = 1'-0"

STAMP SEAL

PURECRAFT HOMES

Premier Partner

**AIBD**

AMERICAN INSTITUTE OF BUILDING DESIGN  
MEMBER NUMBER: 77026061

PCH NEW PJ AUTO REPAIR SHOP  
2025-061

3807 S CENTER ROAD, FERRISBURG, VIRGINIA 22085

Project No. 200861

12/31/2025

Revisions

1. PERMIT DRAWINGS

2.

3.

Note

Scale: 1 1/2" = 1'-0"

NEW WORK  
FOUNDATION  
DETAILS

**A0.1a**

Sheet No. 02025

**FLOOR PLAN NOTES**

**PRE-ENGINEERED METAL BUILDING (PEMB) SCOPE**  
 THE EAST 80'-0" x 50'-0" PORTION OF THE BUILDING IS A PRE-ENGINEERED METAL BUILDING (PEMB) SUPPLIED AND ENGINEERED BY THE METAL BUILDING MANUFACTURER.  
 THE PEMB PORTION INCLUDES THE PRIMARY AUTO MECHANIC SHOP AREA AND ASSOCIATED STRUCTURAL FRAMING, WALL PANELS, AND ROOF SYSTEM.  
 PEMB STRUCTURE, CONNECTIONS, AND LOAD PATHS SHALL BE DESIGNED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) AND SEALED BY THE MANUFACTURER'S ENGINEER OF RECORD.

**CONVENTIONAL CONSTRUCTION SCOPE**  
 THE WEST 20'-0" x 50'-0" PORTION OF THE BUILDING IS CONVENTIONAL CONSTRUCTION AND IS NOT PART OF THE PEMB SCOPE.  
 THIS AREA SHALL BE CONSTRUCTED USING NON-LOAD-BEARING COLD-FORMED METAL STUD WALLS SUPPORTED ON THE CONCRETE SLAB AND INDEPENDENT OF THE PEMB STRUCTURAL FRAME.  
 CONVENTIONAL FRAMING INCLUDES THE WAITING AREA, RECEPTION, OFFICE, RESTROOM, AND EMPLOYEE ROOM AS SHOWN.

**STRUCTURAL SEPARATION / COORDINATION**  
 THE PEMB AND CONVENTIONAL FRAMED PORTIONS SHALL BE STRUCTURALLY COORDINATED BUT DESIGNED AS DISTINCT SYSTEMS.  
 NO LOAD FROM THE PEMB SHALL BE TRANSFERRED TO THE CONVENTIONAL METAL STUD FRAMING UNLESS SPECIFICALLY DETAILED AND ENGINEERED.  
 ALL INTERFACE CONDITIONS BETWEEN PEMB AND CONVENTIONAL CONSTRUCTION SHALL BE COORDINATED IN SHOP DRAWINGS AND FIELD VERIFIED PRIOR TO CONSTRUCTION.

**USE & OCCUPANCY**  
 BUILDING USE IS AUTO REPAIR SHOP WITH ACCESSORY OFFICE AND CUSTOMER AREAS.  
 ALL VEHICLE REPAIR AND SERVICE OPERATIONS SHALL OCCUR WITHIN THE ENCLOSED AUTO MECHANIC SHOP AREA.

**INTERIOR PARTITIONS**  
 INTERIOR PARTITIONS WITHIN THE CONVENTIONAL CONSTRUCTION ZONE SHALL BE COLD-FORMED METAL STUDS, TYPICAL 3 5/8" OR 6", NON-LOAD-BEARING UNLESS NOTED OTHERWISE.  
 INTERIOR WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING AS REQUIRED FOR FIRE, ACOUSTIC, AND CODE COMPLIANCE.

**DOORS & EGRESS**

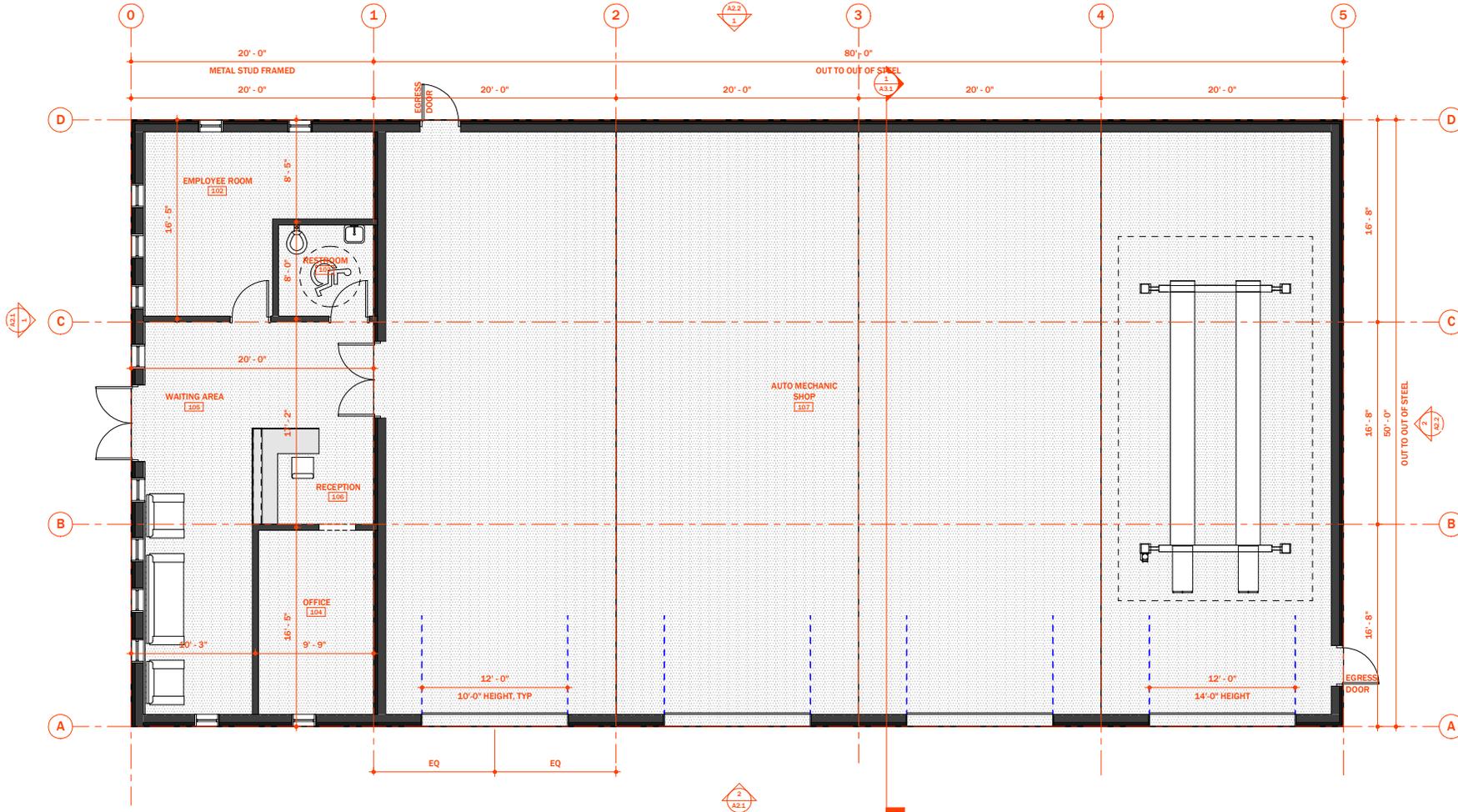
DOOR SWINGS, HARDWARE, AND EGRESS PATHS SHALL COMPLY WITH VUSBC AND ACCESSIBILITY REQUIREMENTS.  
 EGRESS DOORS FROM BOTH THE OFFICE AREA AND SHOP AREA ARE PROVIDED AS SHOWN.

**ACCESSIBILITY**

ACCESSIBLE ROUTES, DOORS, AND RESTROOM FACILITIES SHALL COMPLY WITH ANSI A117.1 AND VUSBC ACCESSIBILITY REQUIREMENTS.

**FIELD VERIFICATION**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND EQUIPMENT REQUIREMENTS PRIOR TO CONSTRUCTION.  
 ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO PROCEEDING.



**1 FIRST FLOOR NEW WORK PLAN**  
 SCALE: 1/4" = 1'-0"

STAMP SEAL



Premier Partner  
**AI**  
**BD**  
 AMERICAN INSTITUTE of  
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 MEMBER NUMBER: 77020601

**PCH NEW PJ AUTO REPAIR SHOP**  
 2025-061  
3807 S CENTER ROAD, FERRISBURG, VIRGINIA 22009

Project No. 200061

12/31/2025

Revisions


Note  
 1. PERMIT DRAWINGS  
 2.  
 3.

Scale: 1/4" = 1'-0"

**NEW WORK FLOOR PLAN**

**A1.1**

Sheet No. 02025

STAMP SEAL



Premier Partner



PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, FREDERICKSBURG, VIRGINIA 22405

Project No. 2025061

12/31/2025

Revisions

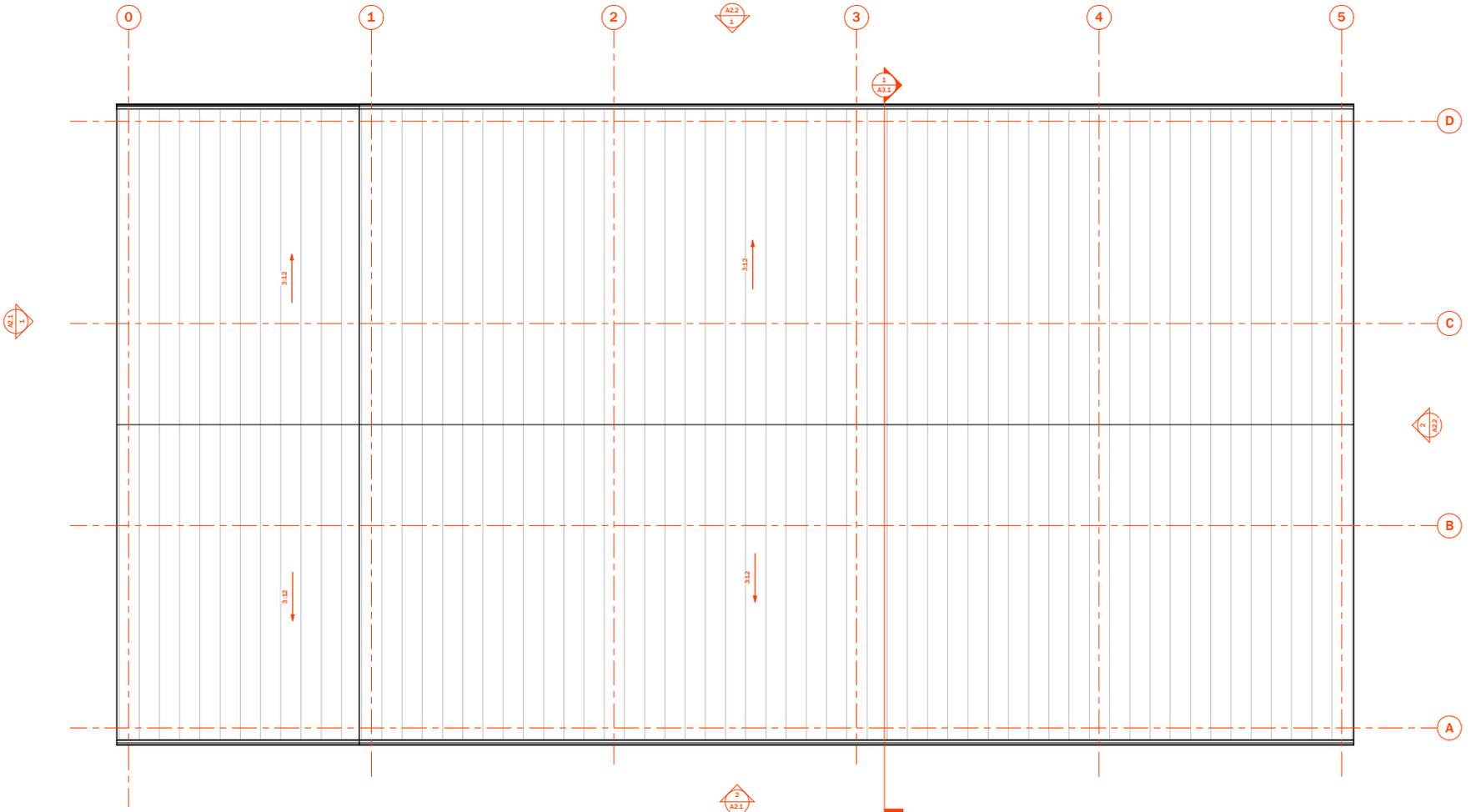
Name  
1. PERMIT DRAWINGS  
2.  
3.

Scale 1/4" = 1'-0"

NEW WORK ROOF PLAN

A1.2

Sheet No. 02025



**1** NEW WORK ROOF PLAN  
SCALE: 1/4" = 1'-0"



STAMP SEAL



Premier Partner  
**A I B D**  
AMERICAN INSTITUTE of  
BUILDING DESIGN  
MEMBER NUMBER: 74506961

PCH NEW PJ AUTO REPAIR SHOP  
2025-061  
3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23080

Project No. 202061

12/31/2025

Revisions


Note  
1. PERMIT DRAWINGS  
2.  
3.

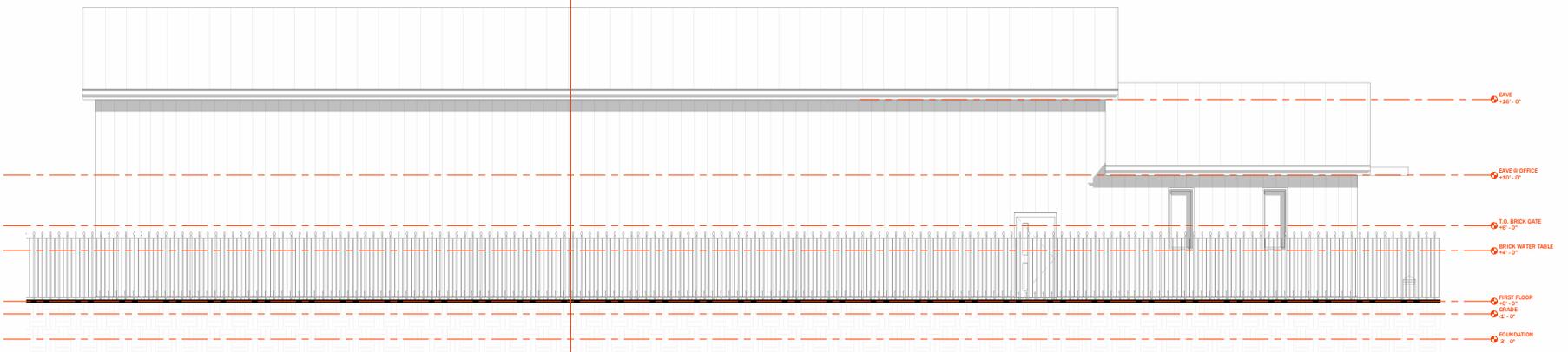
Scale 1/4" = 1'-0"

ELEVATIONS

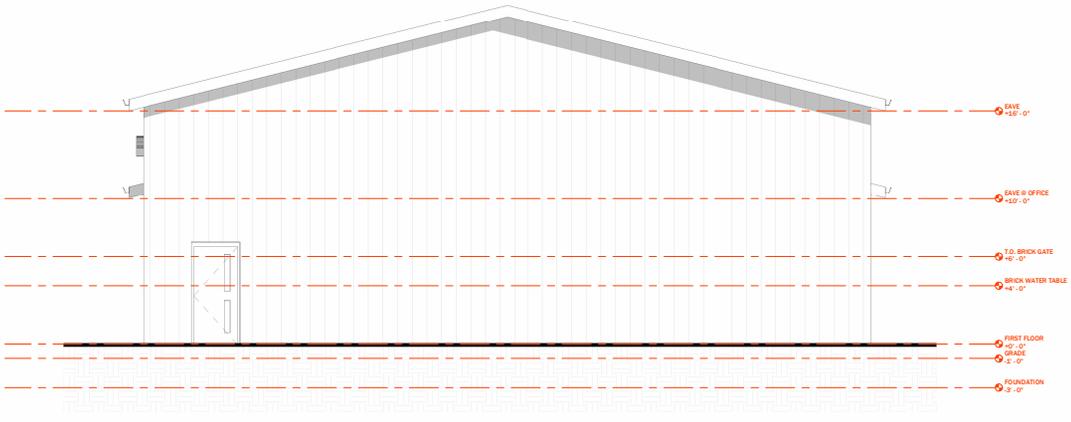
**A2.2**

Sheet No. 02025

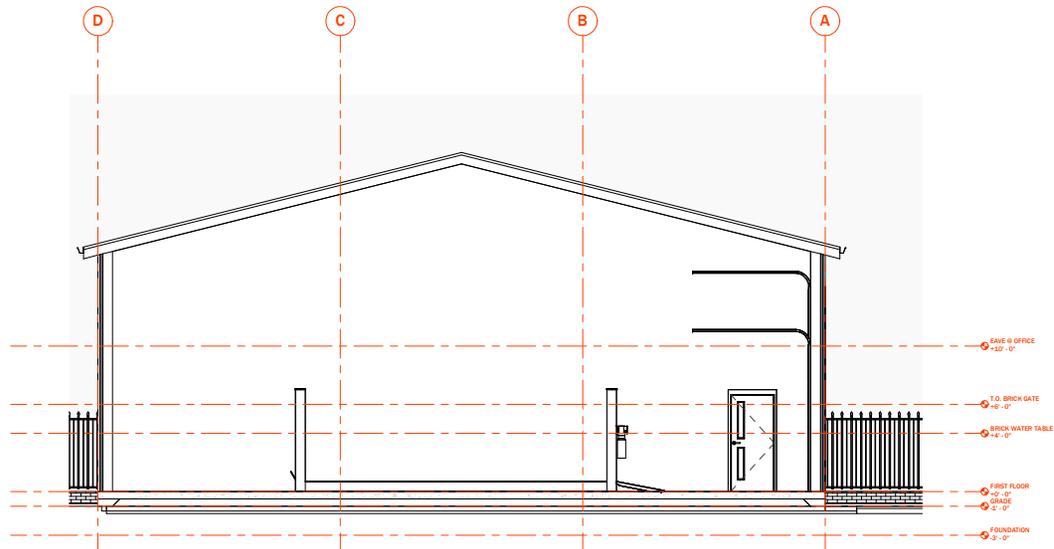
1  
ALL



**1 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 Section 1**  
SCALE: 1/4" = 1'-0"

STAMP SEAL



Premier Partner



**PCH NEW PJ AUTO REPAIR SHOP**  
 3807 S CENTER ROAD, PETERSBURG, VIRGINIA 23085  
**2025-061**

Project No. 2025061

12/31/2025

Revisions


Notes  
 1. PERMIT DRAWINGS  
 2.  
 3.

Scale 1/4" = 1'-0"

**BUILDING SECTIONS**

**A3.1**

Sheet No. 02025

James R. McIlwain

## SIGN LOCATION LEASE

THIS LEASE AGREEMENT, made this 1st day of October, 2018, by and between:

**PEDRO ROSARIO FAMILY INVESTMENT**

(hereinafter referred to as "Lessor") and **THE LAMAR COMPANIES** (hereinafter referred to as "Lessee"), provides

### WITNESSETH

"LESSOR hereby leases to LESSEE, its successors or assigns, as much of the hereinafter described lease premises as may be necessary for the construction, repair and relocation of an outdoor advertising structure ("sign"), including necessary structures, advertising devices, utility service, power poles, communications devices and connections, with the right of access to and egress from the sign by LESSEE'S employees, contractors, agents and vehicles and the right to survey, post, illuminate and maintain advertisements on the sign, and to modify the sign to have as many advertising faces, including changeable copy faces or electronic faces, as are allowed by local and state law, and to maintain telecommunications devices or other activities necessary or useful in LESSEE'S use of the sign. Any discrepancies or errors in the location and orientation of the sign are deemed waived by LESSOR upon LESSOR'S acceptance of the first rental payment due after the construction of the sign.

The premises are a portion of the property located in the City of Petersburg, Commonwealth of Virginia, more particularly described as:

**3857 S. Crater Road**

**Parcel ID #: 101-090005**

1. This Lease shall be for a term of five (5) years beginning November 1, 2018 and ending on October 31, 2023. LESSEE may renew this Lease, for an additional term, of equal length, on the same terms and conditions. Said renewal term shall automatically go into effect unless EITHER PARTY shall give to OTHER PARTY written notice of non-renewal at least sixty (60) days prior to the expiration of the original term.
2. LESSEE shall pay to LESSOR an annual rental of Two Thousand and 00/100 dollars (\$2,000.00), payable annually in advance in equal installments of Two Thousand and 00/100 dollars each (\$2,000.00) with the first installment due on the first day of the month following commencement. Rent shall be considered tendered upon due mailing or attempted hand delivery during reasonable business hours at the address designated by LESSOR, whether or not actually received by LESSOR. Should LESSEE fail to pay rent or perform any other obligation under this lease within thirty (30) days after such performance is due, LESSEE will be in default under the lease. In the event of such default, LESSOR must give LESSEE written notice by certified mail and allow LESSEE thirty (30) days thereafter to cure any default.
3. LESSOR agrees not to erect or allow any other off-premise advertising structure(s), other than LESSEE'S, on property owned or controlled by LESSOR within two thousand (2000) feet of LESSEE'S sign. LESSOR further agrees not to erect or allow any other obstruction of highway view or any vegetation that may obstruct the highway view of its sign. LESSEE is hereby authorized to remove any such other advertising structure, obstruction or vegetation at its option.
4. LESSEE may terminate this lease upon giving thirty (30) days written notice in the event that the sign becomes entirely or partially obstructed in any way or in LESSEE'S opinion the location becomes economically or otherwise undesirable. If LESSEE is prevented from constructing or maintaining a sign at the premises by reason of any final governmental law, regulation, subdivision or building restriction, order or other action, LESSEE may elect to terminate this lease. In the event of termination of this Lease prior to expiration, LESSOR will return to LESSEE any unearned rentals on a pro rata basis.
5. All structures, equipment and materials placed upon the premises by the LESSEE or its predecessor shall remain the property of LESSEE and may be removed by LESSEE at any time prior to or within a reasonable time after expiration of the term hereof or any renewal. At the termination of this lease, LESSEE agrees to restore the surface of the premises to its original condition. The LESSEE shall have the right to make any necessary applications with, and obtain permits from, governmental bodies for the construction and maintenance of LESSEE'S sign, at the sole discretion of LESSEE. All such permits

6. **LESSOR** represents that he is the owner or lessee under written lease of the premises and has the right to make this agreement and to grant **LESSEE** free access to the premises to perform all acts necessary to carry on **LESSEE'S** business activities related to the sign. **LESSOR** is not aware of any unrecorded rights, servitudes, easements, subdivision or building restrictions, or agreements affecting the premises that prohibit the erection, posting, painting, illumination or maintenance of the sign. **LESSOR** acknowledges that the terms and conditions of this agreement are confidential and proprietary and shall not be disclosed to any third-party without the written consent of **LESSEE**.

7. In the event of any change of ownership of the property herein leased, **LESSOR** agrees to notify **LESSEE** promptly of the name, address, and phone number of the new owner, and **LESSOR** further agrees to give the new owner formal written notice of the existence of this lease and to deliver a copy thereof to such new owner at or before closing. In the event that **LESSEE** assigns this lease, assignee will be fully obligated under this Lease and **LESSEE** will no longer be bound by the lease. This lease is binding upon the personal representatives, heirs, executors, successors, and assigns of both **LESSEE** and **LESSOR**.

8. In the event of condemnation of the subject premises or any part thereof by proper authorities, or relocation of the highway, the **LESSOR** grants to the **LESSEE** the right to relocate its sign on **LESSOR'S** remaining property adjoining the condemned property or the relocated highway. Any condemnation award for **LESSEE'S** property shall accrue to **LESSEE**.

9. **LESSEE** agrees to indemnify **LESSOR** from all claims of injury and damages to **LESSOR** or third parties caused by the installation, operation, maintenance, or dismantling of **LESSEE'S** sign during the term of this lease. **LESSEE** further agrees to repair any damage to the premises or property at the premises resulting from the installation, operation, maintenance, or dismantling of the sign, less ordinary wear and tear.

10. **LESSOR** agrees to indemnify **LESSEE** from any and all damages, liability, costs and expenses, including attorney's fees, resulting from any inaccuracy in or nonfulfillment of any representation, warranty or obligation of **LESSOR** herein.

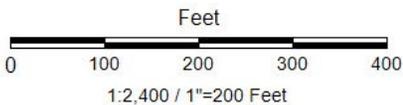
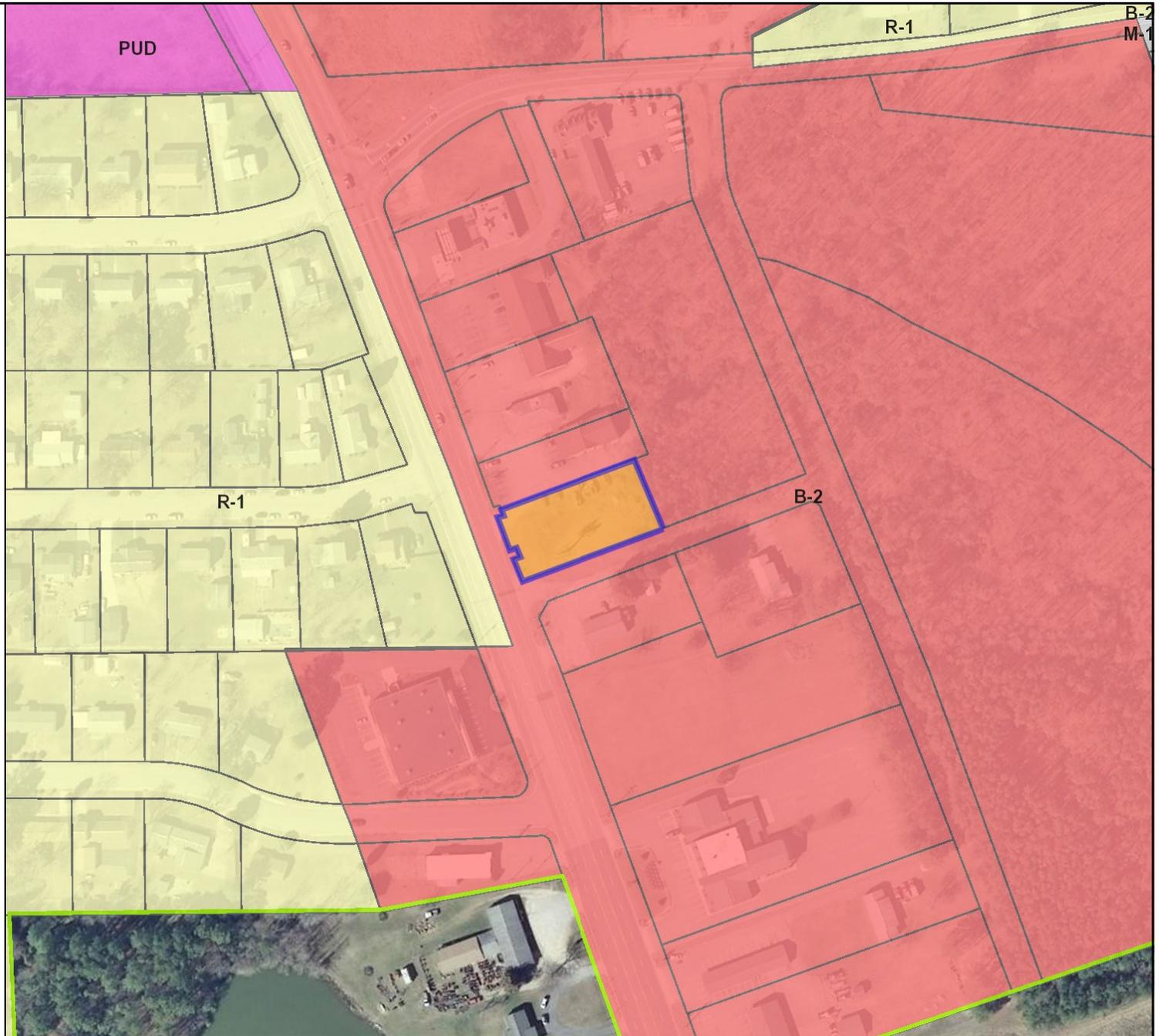
11. If required by **LESSEE**, **LESSOR** will execute and acknowledge a memorandum of Lease suitable for recordation.

12. This Lease is **NOT BINDING UNTIL ACCEPTED** by the General Manager of a Lamar Advertising Company.

# Petersburg, Virginia

## Legend

- City Boundary
- Parcels
- Zoning**
- A
- B-1
- B-2
- B-2 (C)
- B-3
- B-3 (C)
- ERC
- M-1
- M-1 (C)
- M-2
- MXD1
- MXD2
- MXD3
- PUD
- R-1
- R-1 (C)
- R-1A
- R-1A (C)
- R-2
- R-3
- R-4
- R-5
- R-5 (C)
- R-6
- RB
- RMH
- RTH
- RTH (C)



**Title: Zoning Map**

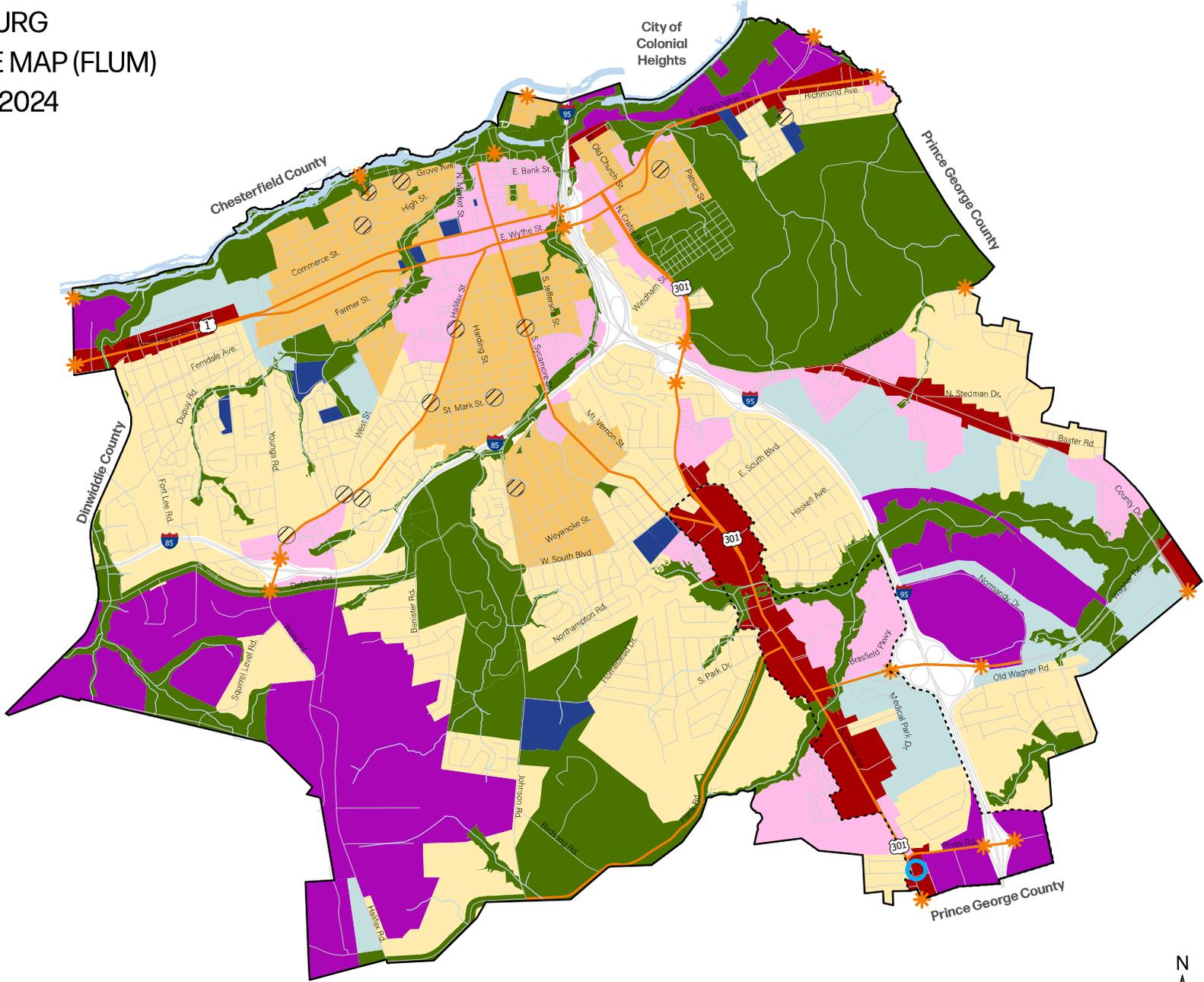
**Date: 11/25/2025**

*DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and City of Petersburg is not responsible for its accuracy or how current it may be.*

**CITY OF PETERSBURG  
 FUTURE LAND USE MAP (FLUM)  
 ADOPTED MAY 21, 2024**

**LEGEND**

-  City Limits
-  Roads
-  Appomattox River
-  Waterways
-  South Crater Urban Development Area (UDA)
-  Historic Core Neighborhoods
-  Community Residential
-  Neighborhood Commercial
-  Community Mixed-Use
-  Corridor Commercial
-  Research and Development
-  General Industrial
-  Civic
-  Conservation and Recreation
-  Gateways
-  Corridors



<b>ADJOINING PROPERTY OWNERS</b>			
<b>Address</b>	<b>Owner</b>	<b>Mailing Address</b>	<b>City, State, ZIP</b>
3905 S Crater Rd	Cockade Properties L.C.	PO Box 751	Petersburg, VA 23804
3908 Allegheny Ave	Cockade Properties L.C.	PO Box 751	Petersburg, VA 23804
3916 S Crater Rd	Crater Community Hospice Inc	3916 S Crater Rd	Petersburg, VA 23805
3857 S Crater Rd	Family Investments LLC	7136 Bridgeside Ct	N Chesterfield, VA 23234-8230
3851 S Crater Rd	Family Investments LLC	7136 Bridgeside Ct	N Chesterfield, VA 23234-8230
3834 Allegheny Ave	Pg Holdings LLC	12001 S Crater Rd	S Prince George, VA 23805
98 S Plains Dr	Taylor Nathaniel J White Jessica Hanifah	98 S Plains Dr	Petersburg, VA 23805